

AN CHARRAIG 2040

REGENERATION STRATEGY & ACTION PLAN

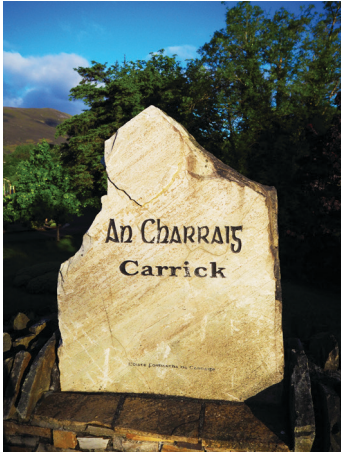
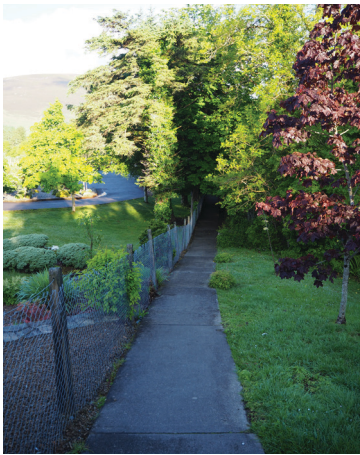


Rialtas na hÉireann
Government of Ireland

Tionscadal Éireann
Project Ireland
2040

Ár dTodhchaí
Tuaithe
Our Rural Future





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I.I Context

Carrick is located on the Wild Atlantic Way in Southwest Donegal. It is a small village settlement and former market vilage which has developed around the Glen river and is the entrance point to Sliabh Liag and Teelin Pier.

Carrick has an active and dedicated community whose love and links to the village are most apparent. Active participation in the growth and the development of the village is balanced with a strong sense of place and the love and respect for the stories and traditions of the rural valleys, river and sea fishing traditions which have shaped the present.

The urban fabric of Carrick is concentrated around the main street and the remainder of the village is formed by primarily detached single houses loosely dotted in the landscape with three distinct housing estates forming the edge boundary of the village and beyond. The settlement pattern is dislocated from the urban centre in a loose pattern of development which creates a lack of pedestrian footpath links and service links to the village centre.

The Main Street is formed by of a number of architecturally pleasing two-storey 19thC terraced houses with a number of unfortunate, visually disruptive modern interventions.

Urban dereliction and poor pedestrian footpath infrastructure detracts from the visual amenity of the village centre.

The Glen River defines the Village and has a very attractive river edge, This gave an opportunity to the community to provide the very popular linear river walkway and Village playground.

Carrick is located on the R-263 Regional Road - the primary access road to Sliabh Liag.

Sliabh Liag attracts approximately 200,000 visitors every year via bus tours, private cars, camper vans and cycling. However Carrick has yet to become an attractive stopping point for tourists and this tourism opportunity is currently lost to the Village.

The opportunity to provide amenities for tourism & hospitality while creating sustainable local job opportunities businesses and enterprise opportunities from the passing tourist traffic was a primary priority identified in Stage I Health Check and is addressed in this Regeneration Plan.

1.2 Process

The An Charraig Regeneration and Action Plan Project was led and commissioned by Coiste Forbartha na Carraige in conjunction with Donegal County Council. The project is funded by

The study was led by Paul Doherty Architects Limited.

Paul Doherty Architects have been engaged by Coiste Forbartha na Carraige to undertake a two stage Health Check and Regeneration Strategy of and for An Charraig and its environs.

Stage 1. An Charraig Health Check is a time bound, data led analysis of the village, examining its strengths, weaknesses, opportunities and threats considering its geographical, built and natural environment, economic, social, transport, pedestrian connectivity, tourism, business and communities of the village at a point in time.

The process included online and in-person surveys, discussions with the stakeholders including local Businesses, Village Community, Sports Groups, School workshop, Focus Groups and Local Authority representatives.

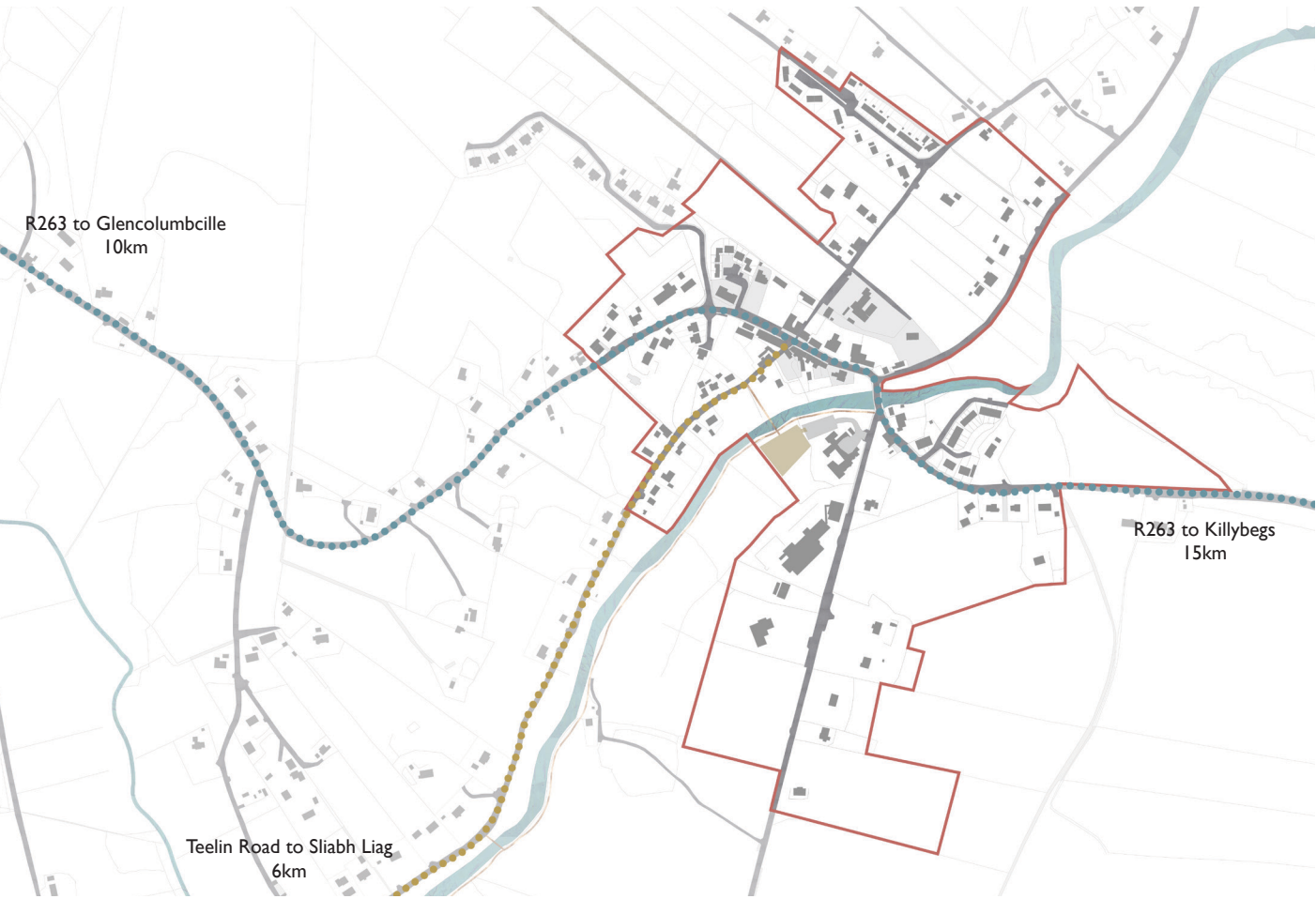
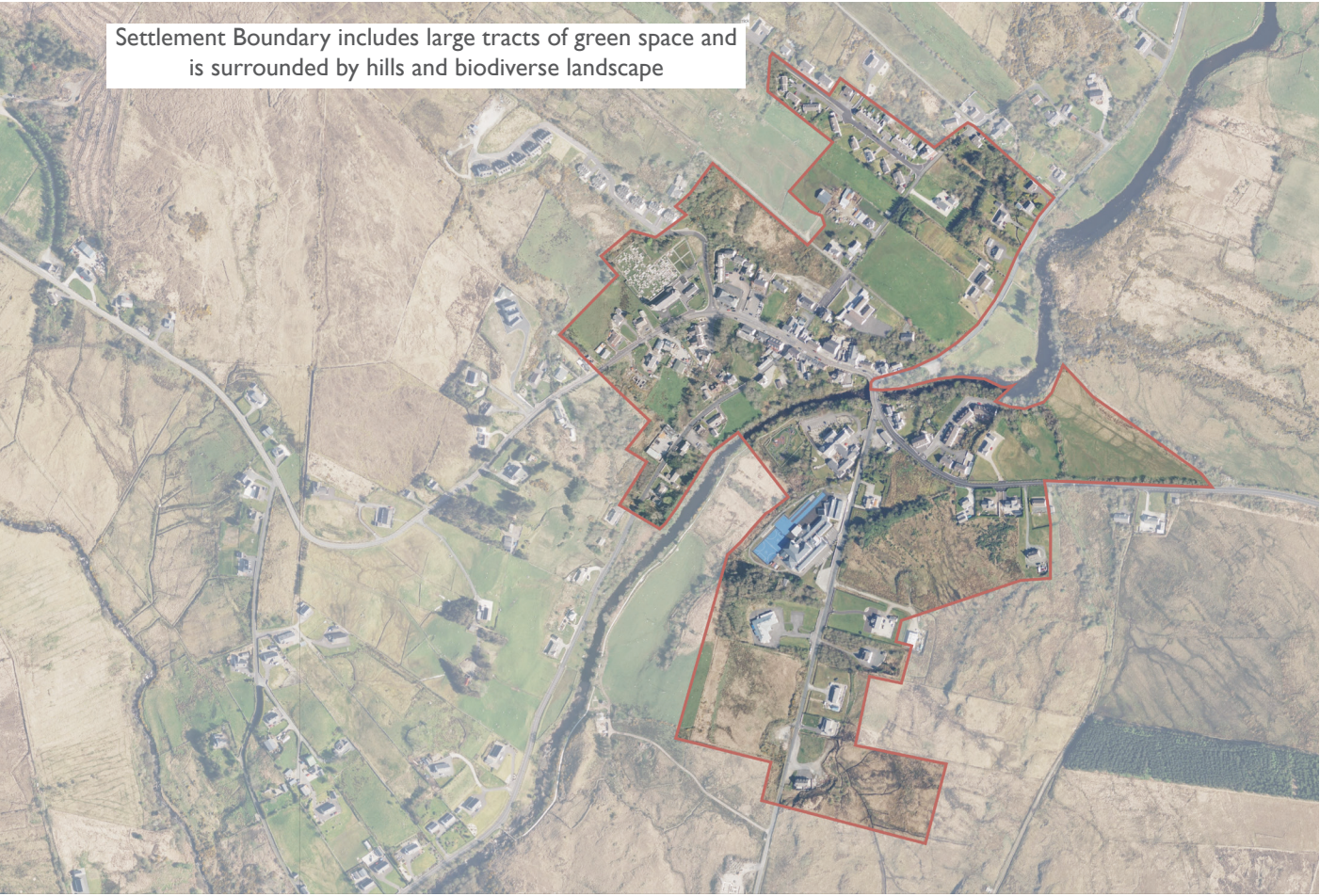
The conclusions and objectives of the Health Check including the aspirations and vision of the village community formed the objectives and actions to be considered in the regeneration plan. The Health Check was completed and presented to the client body and the stakeholders in June 2023.

Stage 2. An Charraig Regeneration and Action Plan is an aspirational regeneration framework considering the issues and opportunities afforded by the existing geographical location and layout of the village. The plan considers the relationship of the built environment, with the natural environment within the village boundaries and takes into consideration the views wishes and objectives of the village community and stakeholders to prepare a single comprehensive vision for the future of the village and its environs.

Possible future projects are identified and considered in detail to include provision of social and community facilities, walkways, pedestrian safety & traffic calming, mobility & active travel, and specific building and place making interventions. The plan also considers the delivery and possible future funding of the various interventions and identifies avenues of funding and supports to deliver the regeneration strategy and action plan.

The stage 2 document herein proposes 5 principles for regeneration of Carrick going forward:

1. Sustainability
2. Accessibility
3. Heritage
4. Digital Sustainability
5. Business and Tourism



I.3 - Policies

Town Centre First (A Policy Approach to Irish Towns)

The Town Centre First policy was prepared by the Department of Housing, Local Government and Heritage and the Department of Rural and Community Development and enacted as a core element of the 2016 Programme For Government and published in February 2022.

The policy outlines a vision to support the regeneration and development of rural towns and villages to contribute to local and national economic recovery and to enable people to live and work in a vibrant environment. The Town Centre First Policy is central to this vision.

The policy represents an approach to the development of rural towns where local communities and local businesses can be central to reimagining their own towns and in planning their own futures.

The policy sets out a framework to facilitate and resource each town to take charge of their own future through a tailored plan, developed by a collaborative planning process and the creation of the Town Team supported by the Local Authority.

This collaborative two stage process will enable the An Charraig community to create a plan which captures the important economic, environmental, social and tourist development opportunities of the village, that recognises the importance of the history, character, identity and sense of place of the community and recognises the vital role of place making interventions to deliver vibrant lived in spaces in the heart of the town.

This regeneration plan has as its central focus the town first policy and forms a framework which aims to create a sustainable, vibrant, socially inclusive village with an emphasis on pedestrian connectivity with the centre of the village with respect to the towns heritage & existing built environment and the creation of vibrant social spaces, adaptable and appropriate to 21 st century needs.

The policy sets out measures to initiate and create a regeneration policy based on a collaborative process which will in turn deliver the social economic and built cohesion of the village centre as follows:

- Local Authority and Town Regeneration Officer supporting and enabling the village team and local Town Centre First delivery.
- Multi-Stakeholder Village Team driving town Centre first delivery through team of local business and community representatives and other stakeholders.
- Village Health Check providing detailed analysis to help understand the Village.
- Town Centre First Regeneration Plan providing a comprehensive vision for the village covering key themes and identifying specific interventions.

- Investment Programme, assisting the local community representatives in accessing funding and supports in place to deliver the Town Centre First objectives.
- Delivery and Impact delivering on the vision outlined in the Town Centre First plan

The Town Centre First policy aims to create town and village centres that function as viable, vibrant and attractive locations for people to live, work and visit, while also functioning as the service, social, cultural and recreational hub for the local community.

Local Policy County Donegal Development Plan

The County Donegal Development Plan 2018-2024 (as varied) sets out the development policies and criteria for the development within County of Donegal.

The plan sets out individual town plans or local area plan is in relation to 3 categories of town, in order of the population of the town.

Layer 1 towns are defined by an in-depth Development Plan which sets out zoning for individual areas and sites within the town

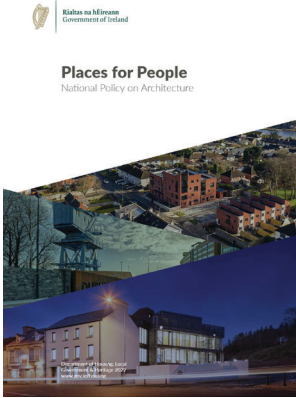
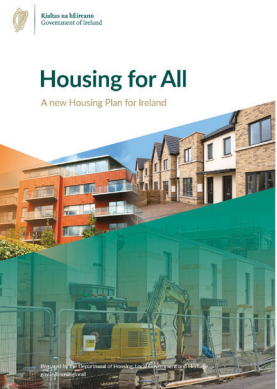
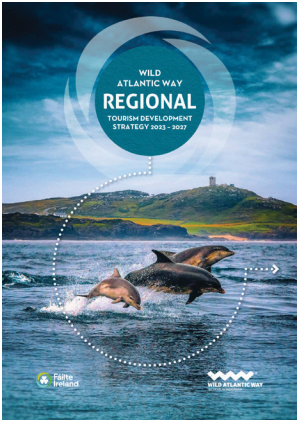
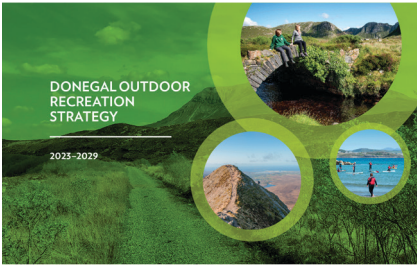
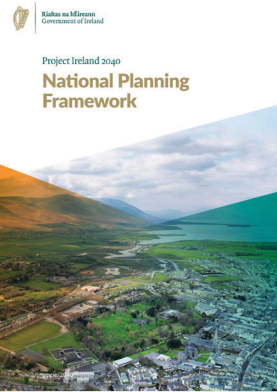
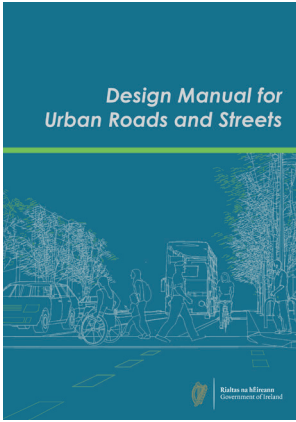
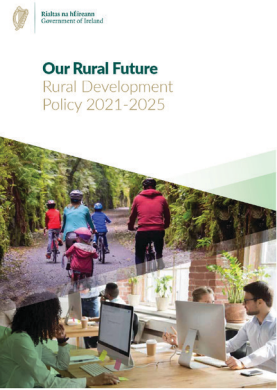
Layer 2 A Towns are defined by a Local Area Plan setting out zoning for general areas of the town and identifying individual strategic and potential sites for housing development which are zoned to facilitate the development from the town centre outwards.

Layer 2B Towns are seen as strategic towns due to their special economic functions, locations or resources.

An Charraig is listed as a Layer 2B Town (Map 15.9)

The County Development Plan does not address the specific attributes, existing heritage or cultural fabric or the aspirations of the community within the town beyond this extremely limited settlement boundary approach.

This regeneration plan will not form part of the statutory enacted and adopted County Development Plan, however should be viewed as a vision for the future development of the town based on the in-depth time bound collaborative community engaged study undertaken in the An Charraig Health Check, which formed part one of this overall process.



1.4 Essential Findings from Stage 1 Health Check.

From the data obtained through Public surveys, workshops and extensive consultation with all stakeholders , school students and businesses, we have assembled a list of essential areas for improvement and considerations suggested by the people of Carrick

1.Weak vehicle /pedestrian / cyclist access

The Teelin junction and road cannot support traffic in 2 directions and is weak for pedestrian and cyclists. Fáilte Ireland suggests approximately 200,000 people visit Sliabh Liag every year, all of whom have to navigate the Teelin Road.

When surveyed for the Health Check, 161 people (94.7%) felt that there were issues with traffic congestion in Carrick at least some of the time and 133 people (80.6%) said if the roads were safer they would be more likely to travel in and out of the village by foot or bike. If this were possible it could contribute to reduced traffic levels in Carrick.

Of all the comments compiled in at the regeneration workshop, 22.7% related to either Roads or Pedestrian Access.

2. Insufficient Tourist provision of restaurants cafés and bars

Carrick has only 2 options for sit-down meals, which are part of the only open Hotel and Pub. There are 2 takeaway restaurants. In the Health Check Survey people said they would like to see more hospitality business, In the Healthcheck & Regeneration workshop, 38.9% of mentions relating to new businesses referred to cafés and restaurants.

3. Dereliction, vacancy and sustainable development.

While the percentage of vacancy and derelction within the town is low at 9.3%, the prominence of these buildings detracts from the strong Architectural Heritage of the Main Street and Teelin Road. A number of people said they thought that dereliction and vacancy either prevented or discouraged people from living on the Main Street. 52.3% of those surveyed said they would like to see derelict and vacant buildings re-purposed as social/ affordable housing, 29.7% saying they would like to see them repurposed as remote working facilities.

Repurposing vacant buildings and Housing ranked 6th and 7th respectively in terms of overall number of mentions at the Regeneration Workshop.

4. Poor access to outstanding natural amenities.

Continuance of pavements and provision of cycle paths was considered a requirement so that residents and visitors can access the exceptional natural amenities around Carrick safely and conveniently. Only 26.8% of people surveyed found surrounding natural amenities easy to access with the remainder finding deficiencies with either access such as roads & car parking or information signage.

5. Design Guidance

Heritage of Carricks village streetscape needs to be nurtured and informed by appropriate design guidance, so that building owners undertake only appropriate maintenance or redesign.

6. Improvement of existing community centre facilities

Carrick has a really strong, involved, community. Facilities at the Old School do not fulfill

modern requirements and improvements could facilitate not only the community but visitors to the village also. The Health Check Survey showed an overwhelming desire from the people of Carrick for a public toilets, with 67.3% saying they would like to see them provided in the near future. With it's central location within the village, the Old School may be an appropriate location for this. Respondents also showed a strong interest in a social hub of some sort being established. Social spaces and public toilets also featured strongly in the comments from the Regeneration Workshop.

7. Consolidation and creation of looped amenity walks

Walking is an important activity with the established river walk and longer Mountain trail walks. Providing an extension and looping the river walk would allow it to become an even stronger amenity for all of the community. 58.8% of people who walk the Glen River Walk return to the village by the Teelin Road. This poses a clear safety risk at present with high volumes of walkers and vehicles mixing on a narrow road. Tourist Attractions (including walking trails), Pedestrian Access and Access for Tourists ranked 3rd, 4th & 5th respectively in order of number of mentions at the Regeneration Workshop.

8. Carrick requires a civic space and amenities targeted at the young and older generations

There is no outdoor space for the community of Carrick to assemble, Absence of a Community Playschool or facilities for young people means that families are driving long distances for such facilities and young people have no suitable space to congregate. In the Health check Survey, a social hub with a particular focus on a Youth Centre featured strongly, with 59.6% of people said they would like to see one in Carrick.

A town park with an outdoor shelter was requested by 36.3% of people. There is also a clear need for a Community Playschool or childminding facility with 40% saying they would like to see one in the village.

The large number of people saying they would like to see a café in the town may also be due to the secondary social function it would serve. Social spaces ranked 7th in order of mentions in the Regeneration workshop, with many of the these comments having a specific focus on young people.

9. Inadequate access to important culture and Heritage

Carrick has really important heritage in terms of Textile industry/ Angling & Fishing and Traditional Music. No facility currently exists in Carrick to celebrate these traditions and pass the knowledge on to later generations and visitors. 25% of those surveyed said they would like to see an Art Gallery/ Studio in the village. This came up again at the Regeneration Workshop with a number of mentions, with people suggesting the 'Red House' on the Teelin Road in particular as a suitable location.

10. There is a lack of Tourist accommodation and variety of same.

Given the large numbers visiting the area and the lack of Tourist accommodation, visitors are forced to stay away from the area in bigger Towns such as Killybegs and Donegal Town. 26.7% of those surveyed said they thought budget accommodation would be a good use for repurposing vacant and derelict buildings within the village and 22.2% of the comments relating to Tourism at the Regeneration Workshop mentioned the need for a greater range and volume of tourist accommodation.

11. There is a need for new housing adjacent to the village

New Homes for those who wish to come back to Carrick and for those who want to live close to their place of work was mentioned by contributors to the Health Check.

I.5 Carrick Vision 2040

- Vision 2040 will encourage the nurturing of the existing environment, both natural and built, and the careful and considered development of the village based on 'Town Centre' First principles.
- The vision for Carrick is borne out of the Community's desire for true sustainability encompassing the unique location, its natural and built heritage, its culture, its people and their needs and desires into the future.
- The vision promotes economic stability and growth that can result from enhancement of the village and environs, amenities and access to them.
- The future of Carrick will be one where everyone can safely access, walk, play, exercise and enjoy the vibrancy of a busy traditional Village. Residents and visitors can partake in community events, can learn, shop and meet with friends, with far less car dependency.
- Tourists/Visitors will be able to cycle safely through and around Carrick, this promotes sustainable Tourism in southwest Donegal.
- The Teelin junction and Teelin road proposals will allow for a safe and accessible route to Sliabh Liag.
- The proposed link road from Teelin Rd. to Glen Road will open opportunities for concentrated backland opportunities for commercial, housing and local community uses.
- The regeneration plan will provide for sustainable hospitality, other crafts & businesses for the large number of Tourists visiting Sliabh Liag.
- The vision recognises the attraction Carrick has to Tourists, especially those visiting Sliabh Liag, and proposes more variety in the kind of accommodation, food and entertainment provided to appeal to a wider range of Tourists seeking a truly authentic visit to Co. Donegal.
- Growth of work and industry will be supported with increased housing, allowing people returning to Carrick or relocating there, to create sustainable lives.



1.6 Carrick 2040

Objectives-

Ensure village centered and sustainable interventions, promote Sustainability as a key indicator for the overall ‘health’ of the Town.

- 1. Promote cycling and walking for amenity and work.
- 2. Provide enhanced community facilities, expanding the existing facilities to give a community wide hub that is multiuse/multipurpose.
- 3. Reuse existing vacant and derelict properties, as much needed hospitality businesses, working hub, creche etc., centred in the village, the beating heart of Carrick.
- 4. Provide green amenity spaces and promote resilient biodiversity, expanding this existing strength within the village.
- 5. Provide for potential growth in Housing need that is walkable distance of the heart of the village, demand excellence in design and sustainability for this housing.
- 6. Provide EV charging within the village, promoting its green credentials while lengthening dwell time in the village.
- 7. Promote the use of South facing roofs to accommodate PV arrays to reduce overall carbon emissions within the village.

Improve accessibility for all in and around Carrick and hinterlands.

- 1. Promote accessible roads and junctions, reduce congestion and ease access to important Tourism and amenity locations.
- 2. Promote health and wellbeing through walking by ensuring continuous safe footpaths and looped walks.
- 3. Provide safe roads, crossing points for cyclists and all road users.
- 4. Provide additional centralised parking and provide seamless access links and pathways to all of the village.
- 5. Promote central facilities for children and the elderly that allow all to be engaged with this active village.
- 6. Provide safe access to amenities beyond the Village on foot or by bike.

Protect and promote Heritage

- 1. Provide spaces for education , practice and celebration of Arts Culture and Heritage in all its forms in a multiuse venue through regeneration of existing derelict buildings.
- 2. Create Design guidance templates to foster good building stewardship, and protect the strong amenity of the Streetscape heritage.
- 3. Provide clear wayfinding and access to important Heritage sites in and around Carrick, bringing them to a wider community, bringing them to the heart of village life through education and access.

Digital Sustainability to enhance accessibility and communication.

- 1. Provide high performance broadband and phone connectivity for the Town and hinterland to support remote working and digital enterprise.
- 2. Provide a purpose designed digitally served remote working hub.

Business & Tourism initiatives to sustain growth for the Village.

- 1. Encourage provision of a variety of Tourist accommodation offerings to facilitate a broader range of visitors.
- 2. Encourage the development of new and more varied Restaurants/café’s and retail offerings in the village.
- 2. Support events and Festivals in the Town with improved public infrastructure.

This Regeneration Strategy and Action Plan is intended to be aspirational and flexible to change or interventions over the course of its lifetime. In no way or form are the actions and associated content contained therein agreed or committed proposals, plans or designs. Conceptual sketches are an ‘artist impression’ of potential ideas of how particular spaces could look, alternatives may also be appropriate.

1.7 - Dereliction & Vacancy

Retrofit first (Sustainable development)

Several possible projects have been identified, which could enable the re-purposing and regeneration of existing buildings along the main street and Teelin Road. These projects could greatly improve the social fabric of the town, such as providing more affordable housing on the Main Street and the Artists Workshops and Food Hub on the Teelin Road.

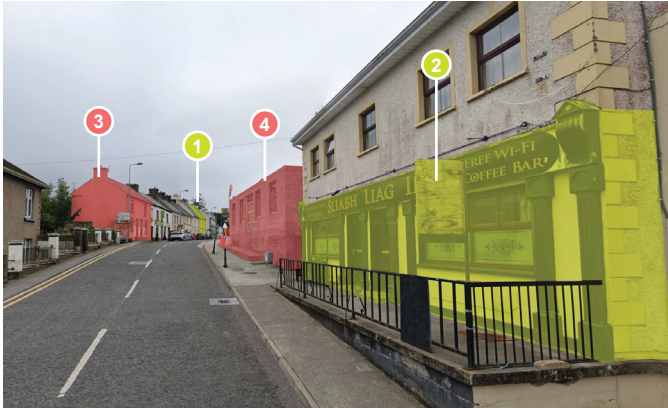
These could lead to further entrepreneurial proposals which could lead to the creation of sustainable local employment taking advantage of the unique tourist industry opportunity being afforded to the village by the success of the Wild Atlantic Way.

Re-purposing existing buildings is the most sustainable method of achieving built fabric, as it can be responsible for 70% less embodied carbon than the construction of a new building. The Town Centre First national policy encourages re-use and refurbishment above new building for this and many other sustainable reasons.

If dereliction and vacancy are allowed to continue the visual attractiveness of the village as a community social centre and as a tourist destination will deteriorate further.



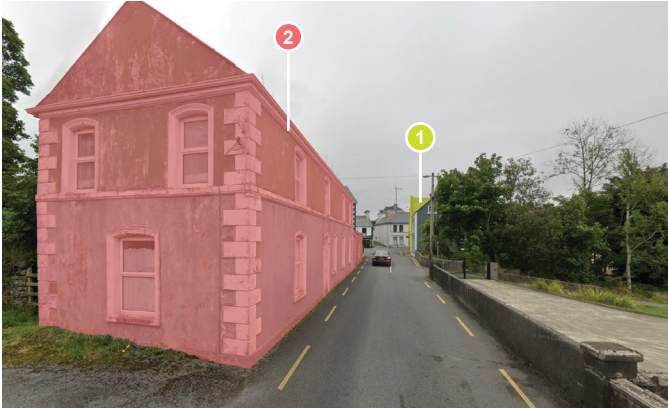
Teelin Road



Main Street



Main Street



Teelin Road

I.8 - Design Guidance

Intermittent vacancy along Main Street

This could be utilised to provide short and long term rental accommodation. Living in the village either with entire house occupancy or living above the shop will keep Carrick safe and busy at night and will allow residents to be fully engaged with the activities of the village, it also creates a more sustainable, convenient and even car-free lifestyle.

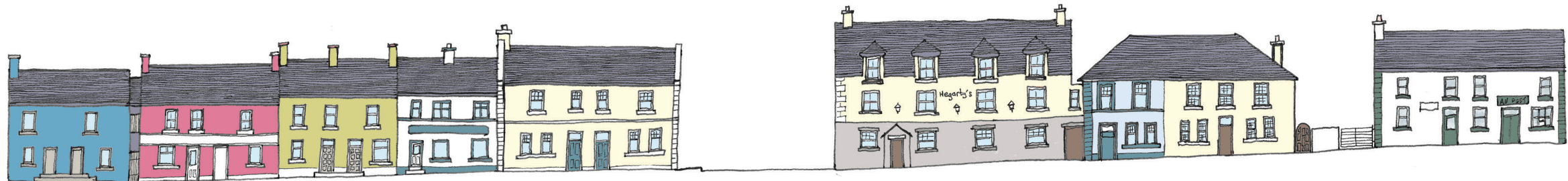


Traditional buildings and shopfronts on Carrick Main Street are characterful, they define the flavour and colour of the Town

Design Guidance

The character of Carrick has been shaped by its location, people, culture and heritage; it has also been shaped by its Architecture; the fine grain and Victorian proportions of a small number of buildings immediately near and on the Main Street mixed with stepped roofscapes and buildings of various heights creates the scale and rhythm for the street.

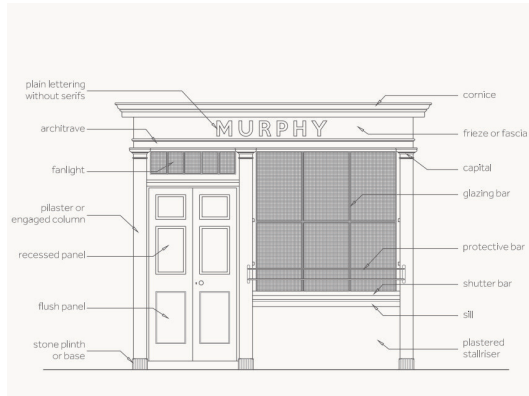
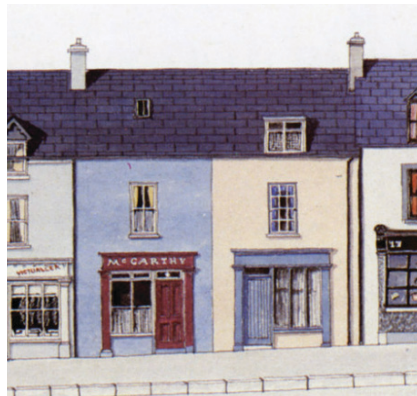
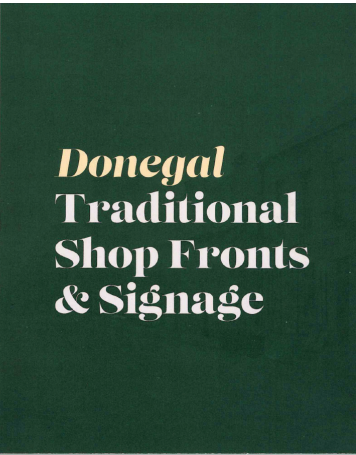
Many newer & retrofitted buildings have opted to ommit chimney stacks and the proportion of openings has not always followed the historical precedent. The proportions of windows and doors, chimneys and roofscape are very important in maintaining this character, guidance to anyone wishing to modify buildings in Carrick should be developed. This guidance should also include recommended materials, finishes and a selection of colours appropriate to a vibrant Irish Country Village and advertising/signage, security shutters etc.,



A more varied use of colour will add to the character of some buildings on the Main Street, choosing from an established Design guidance will assist building owners in choosing appropriate finishes.

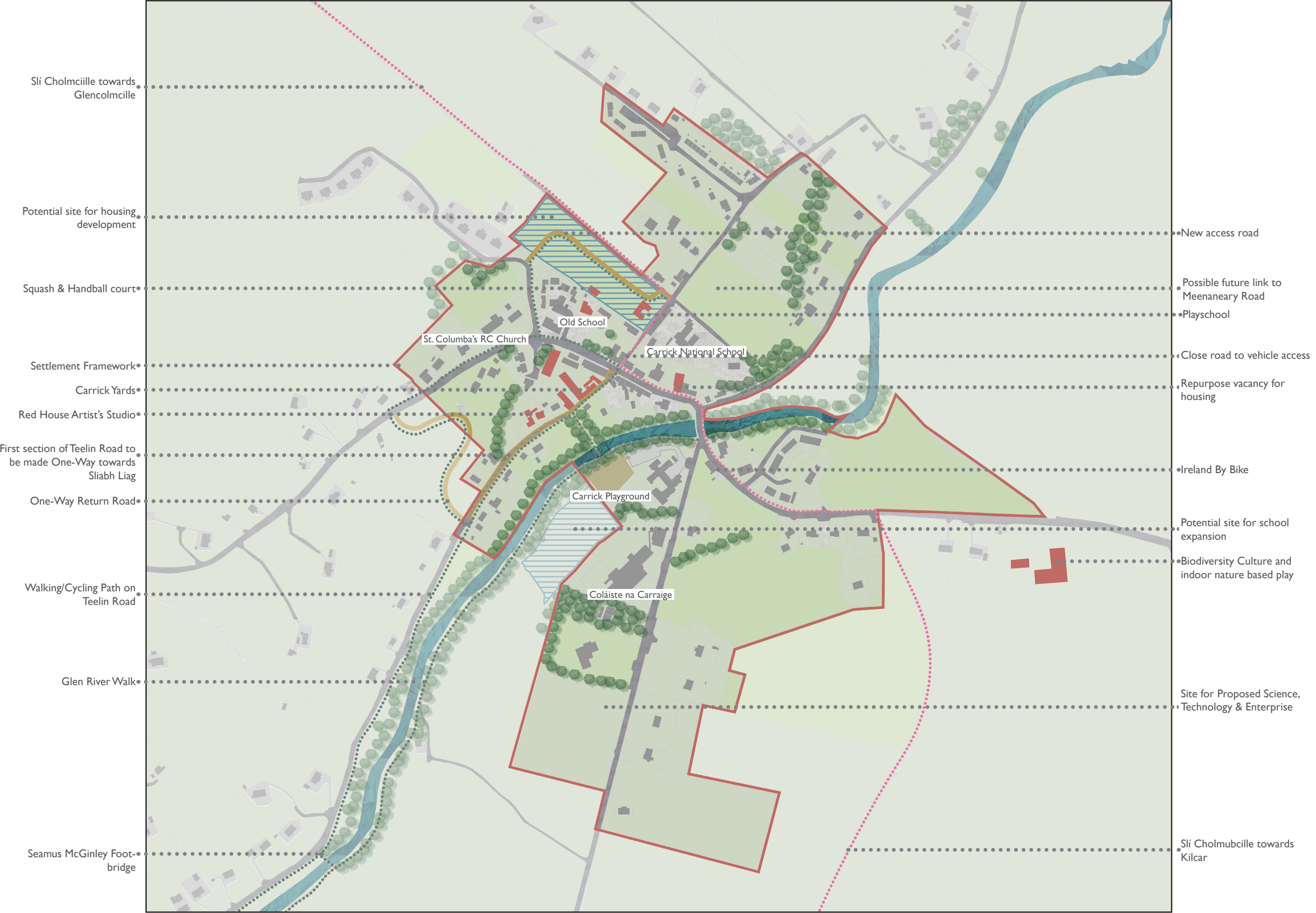


Populated Streets are safer streets, the Town is the most sustainable place to live with all amenities on your doorstep. The convenience and pleasure of living on a main Street of a Town, keeps citizens rooted in 'Place' and welcomes newcomers to a special urban life.



A modern off the shelf window (left) does not replicate the grace and character of an original 18th or 19thC window

I.9 - Amenity & Opportunity Sites



2.0 - Roads and Access & Infrastructure

2.1 - Enhancement Strategy

a) Main Street

The Main Street forms a section of the Regional Road between Donegal Town and Glencolmcille. The bridge over the river Glen forms a natural traffic calming measure however, the remainder of the road is straight and the road entering the town from the west is a downhill, wide, well surfaced road which leads to traffic entering the town at high speeds.

Traffic calming and pedestrian safety are of concern to the community and crossing points could be established as follows;

- A. In front of the Old School/Community Centre.
- B. At the Teelin / Slieve League junction
- C. On Main Street at the Carrick Filling Station and Food Store.

These can take the form of a raised crossing points which will form a natural traffic calming measure and will increase traffic safety and pedestrian safety in the centre of town.

b) Realignment of Teelin Road Junction

A solution is required to the traffic congestion at the Teelin / Slieve League road junction, with tour buses entering and exiting the junction blocking the Main Street is the number one priority established through the Stage 1 Health Check Process.

The junction is narrow and currently does not have footpaths, with only a small concrete area to the west side which is generally occupied by sandwich board signs, advertising the adjoining bar and restaurant.

The narrowing of this road to provide a one-way system will enable the provision and widening of footpaths in this critical location.

c) Provision of One-Way Rd system to and from Teelin / Sliabh Liag

In order to enable the realignment of the Teelin / Sliabh Liag junction, a one-way traffic system could be established by the provision of a return road enabling traffic to return along the one-way road to a point to the west of the town centre. This could also open a great opportunity for back land parking and back land development along the western area to the rear of

the Main Street which will offer opportunities in relation to the provision of tourism development and to entice tourists to stop in the Village.

d) Continuation and Extension of Footpaths Throughout the Town

Footpaths throughout the town are in poor condition and undisciplined parking blocks the footpath and leaving it unusable for users, appears to be common practice.

Redefinition of the footpath along Main Street and the provision of landscaped set down areas so as to clearly define parking areas, could alleviate this problem and render the footpaths usable and safe for all users.

As the village has more recently developed in a loose detached single house settlement pattern along main roads with no footpaths or public lighting, the continuation of footpaths from the Main Street along the spur roads could greatly increase pedestrian and traffic safety.

e) Provide additional back land parking

The opportunity exists to provide additional back land parking which will encourage / enable tourists to stop in the village and therefore facilitate the development of tourist offerings with spin-off businesses. The provision of backstreet/backland parking is critical to the overall development of the tourist offering of the town and the development of sustainable employment on the back of increased tourism spend.

f) Provide EV charging points

The percentage of electrical cars in new car purchases is increasing year-on-year, yet the village has no dedicated EV parking area or EV chargers, this has become a common question from tourists looking for accommodation and the negative response will cause them to seek accommodation elsewhere.

EV parking could be provided at numerous locations, in the existing car parks, along the Main Street or in the new backland parking facilities.

g) Pavement set out and soft landscaping

Pavement setdown and soft landscaping points along Main Street and the provision of trees in the step out will soften the existing hard surface visual appearance and greatly increase the visual attractiveness of the village. Trees and other soft landscaping (including within the Village Park) will also promote biodiversity in the Village.



2.2 -Enhanced Access To Schools (Safe Routes To School Programme)

The Green schools travel programme is funded by the Department of transport, tourism and sport and supported by the National roads authority.

The ultimate aim of the programme is to increase the number of students walking, cycling, scooting, using public transport or carpooling on the way to school.

The programme sets out eight measures to improve safety at schools.

- Create a vehicle free, entrance for pedestrians and cyclists
- Visual or creative initiatives in front of school
- Discourage/prevent illegal parking
- Park and stride
- The cycle bus
- Temporary or informal car free zones
- The school vehicle free zone during peak times
- New or widened footpaths pedestrian crossings and cycleways

Carrick and its general environs including Kilcar, Meenaneary & Glencolmille are serviced by 4 National Schools and 1 ETB Secondary School.

Carrick National School is located in the centre of the town to the north of the Main Street is accessed primarily via an extremely narrow laneway to the side of the Garda Station. Car parking at the school is very limited and due to the restricted road access traffic manoeuvres provide an unacceptable pedestrian safety hazard.

Consideration has been given in this Regeneration Plan to improving access to the school for all users and proposals are included for the development of the route from the community centre car park to provide a safe drop-off and collection point in a defined car parking area and thereafter a safe pedestrian route for children and parents walking to the school.

The interventions proposed can provide multiple social and safety benefits and the proposed one way of part of the School Lane and the reconfiguring of the Community Centre car park and reopened walkway to the school will greatly enhance the active travel and safety of all school users.

The Coláiste Na Carraige secondary school is located at a short distance from the village centre and the a Kilcar Road. At lunch-time a large number of students walk from the school to the village centre to purchase lunch from the filling station or local shops such as Doherty's XL.

The provision of crossing points on the Main Street as included elsewhere in this regeneration plan will greatly enhance the safety for this daily procession and will be in keeping with the government policy Safe Access to Schools (Safe Routes To School Programme).

Carrick Vocational School / Coláiste Na Carraige



222 Students (2021/22)

300m from An Charraig Main Street

Meenaneary National School / Scoil Naisiunta Min An Aoire



16 Students (2022/23)

5.8km from An Charraig Main Street

Carrick National School / Scoil Naisiunta Na Carraige



67 Students (2022/23)

200m from An Charraig Main Street

Cashel National School / Scoil Naisiunta An Chaiseal



67 Students (2021/22)

9.4km from An Charraig Main Street

Kilcar National School / Scoil Chartha Naofa



105 Students (2021/22)

4.3km from An Charraig Main Street

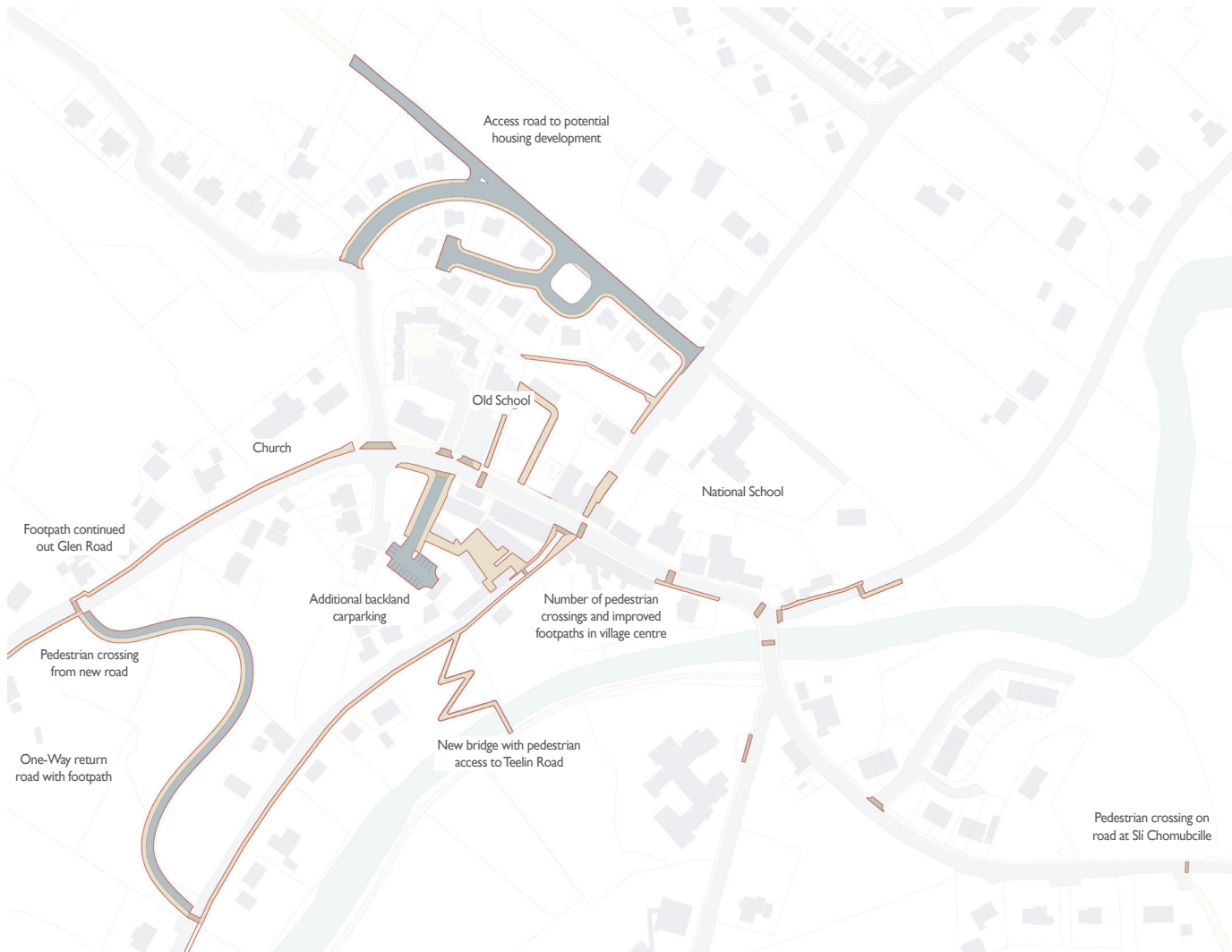


2.3 - Improve road, pedestrian and cycle infrastructure

A compact development of housing within the village boundary could help to provide a road network joining the Road outside the National School with the Ard Na Carraige Road. Thereby forming a safe access road to the school and opening substantial lands for housing development using Town Centre first Principles. This would enable the one way road from the Garda station to the national school providing a safe walking route for young children.

An increase in pedestrian infrastructure including dedicated crossing points along various roads within the village centre and on the L1125 could increase safety of pedestrians and offer an opportunity for non-vehicular travel within town centre area.

Dedicated marked bicycle lanes could be provided along the revised Teelin / Slieve League Road in accordance with the DMURS guidance and principles to facilitate safe pedestrian and cycling access along this critical tourist route.



2.4 - One-Way Vehicle System on the Teelin Road

The Teelin Road is the only route to Sliabh Liag from the South of Donegal. Approximately 200,000 visitors visit Sliabh Liag every year and this is the main route from which they will access the natural splendour and beauty of Sliabh Liag.

The current road infrastructure from Carrick Main Street to Teelin Pier and Sliabh Liag is too narrow along much of its length for 2 cars to pass safely, let alone 53 seat buses or trucks. There is no provision for pedestrians or cyclists, yet this area is sought after by both groups as it hosts such outstanding beauty.

The Road is less than 5m wide at many points and including near the Main Street while it widens at the junction, this is an unsustainable and highly challenging route.

The regeneration plan prioritises the making of a substantial portion of the Teelin Road into a one-way road, with a new road that traverses the space between the Teelin Road and Glencolmcille Road (also one way), coming from the Teelin direction.

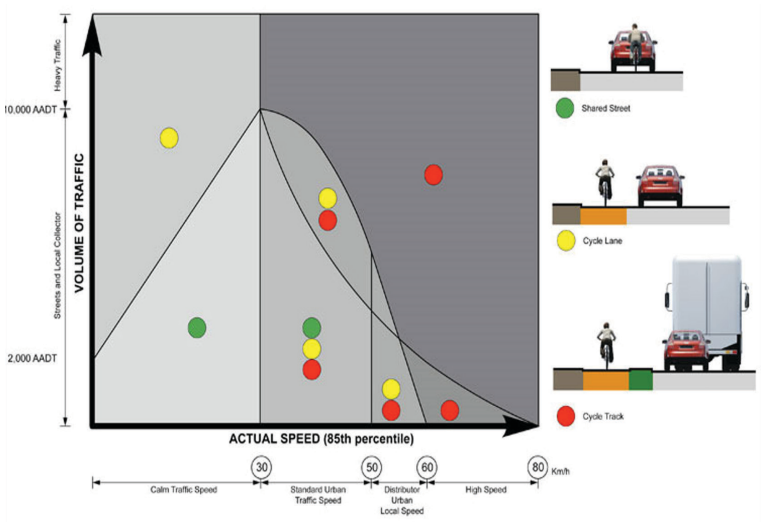
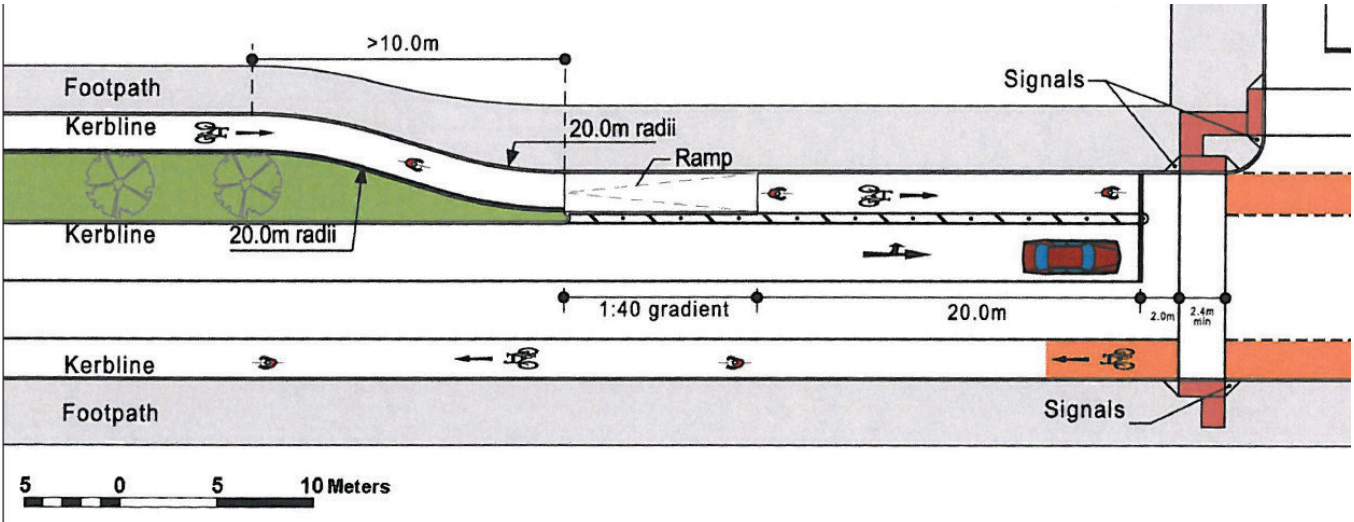
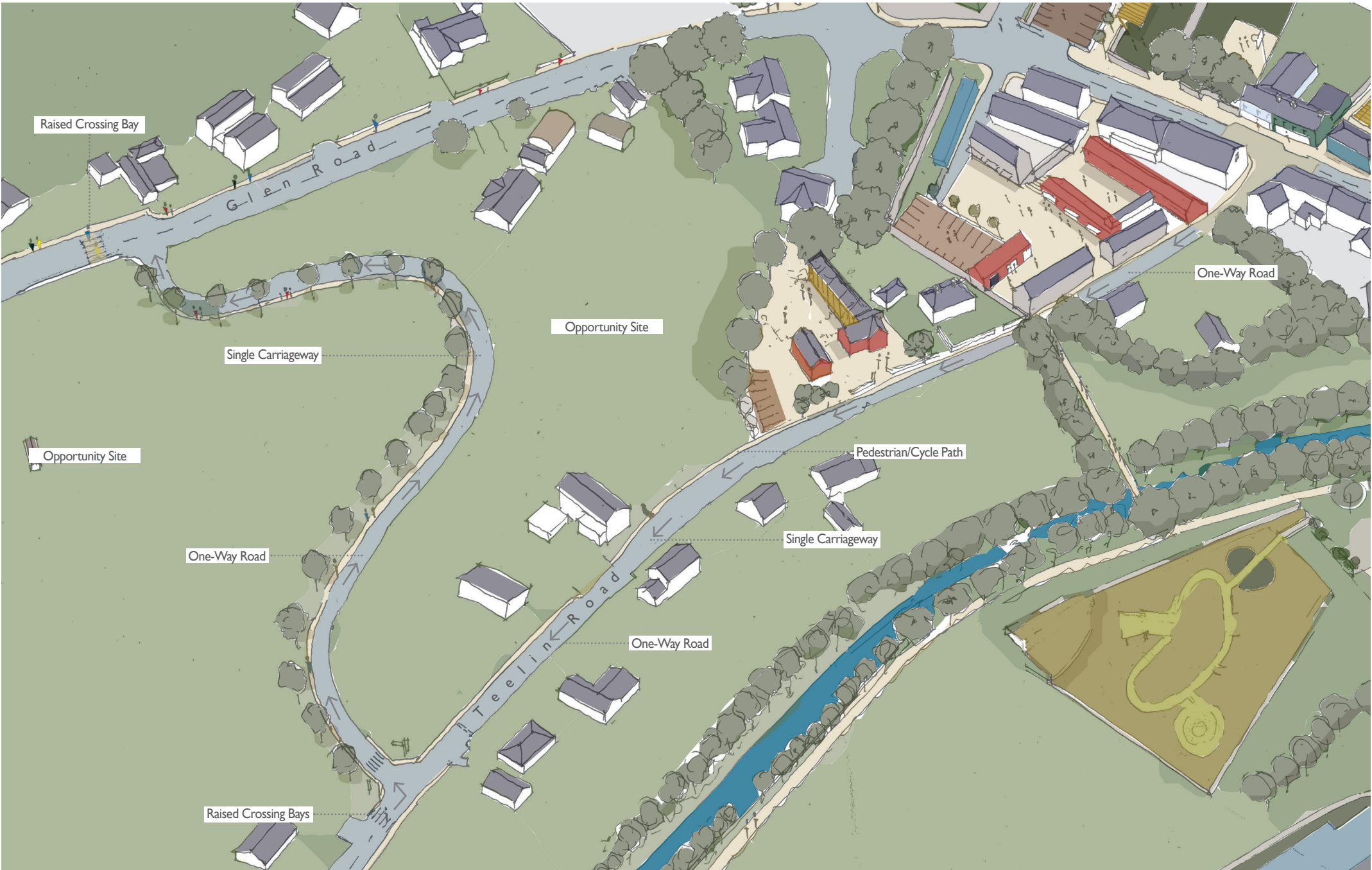
The added safety for all road users will also benefit the community and other road users in Carrick reducing the intense congestion which often occurs when even modest size delivery vehicles use the road.

The better provision for cyclists and walkers will have a profound affect on such Tourism also as found all over the country where such facilities have been provided.

DEMURS

The Design Manual for Urban Roads is a national statutory document setting out standards for new road alignment, footpaths crossing points and cycle lanes within town boundaries. Adherence to the principles of the DEMURS will increase pedestrian, cyclist and traffic safety while encouraging active travel. The principle of facilitating and encouraging safe access active travel will be a principle of all public realm and roadworks proposed within this Strategy and Action Plan.

Note below cycle lane image.
DEMURS guidance details on cycle lanes and paths on new & existing roads.



CONCEPTUAL IDEAS ONLY

2.5 - Shared Surface for Pedestrians and Cyclists on Teelin Road

The Teelin / Sliabh Liag road is a narrow busy road heavily trafficked by bus and coach tours and tourists driving rental cars. It is also a popular walking and cycling route and proposals should be put in place to widen the road to facilitate all traffic modes.

The provision of a cycling / walking lane was discussed and through consultation could be achieved by narrowing the carriageway for vehicular traffic where possible and providing a delineated coloured lined and clearly marked cycleway and walkway.

The national standards for roads footpaths cycleways in urban / semi urban areas 'DMURS' sets out the minimum requirements in relation to width and surface material for such cycle/walking lanes.

The Carrick / Teelin / Sliabh Liag road is a very important tourism route, and all efforts should be made to ensure the safety of all users on this route.



Existing Teelin Road Condition



Proposed Lower Teelin Road Condition with dedicated walking /cycling lane where possible



Existing Teelin Road Condition



Proposed Teelin Road one-way Condition with a dedicated (though shared) walking/cycling lane

CONCEPTUAL IDEAS ONLY

2.6 - Wayfinding Signage

Carrick can develop as the accommodation centre for walking tourism in the locality. The signage and waymarking of these trails from within the town centre fails to clearly direct visitors onto each of the walking trails.

A 'walking trail map' to highlight routes originating from the town centre could begin the process of establishing Carrick as a centre.

Waymarking and signage within the village that is dedicated to the walking routes should be provided so as to give clarity and to encourage visitors to enjoy the natural landscape on foot or bicycle through these trails.

A specific plan should be established for the upkeep, maintenance, and improvement of these routes so as to ensure a safe and memorable experience on the trails.

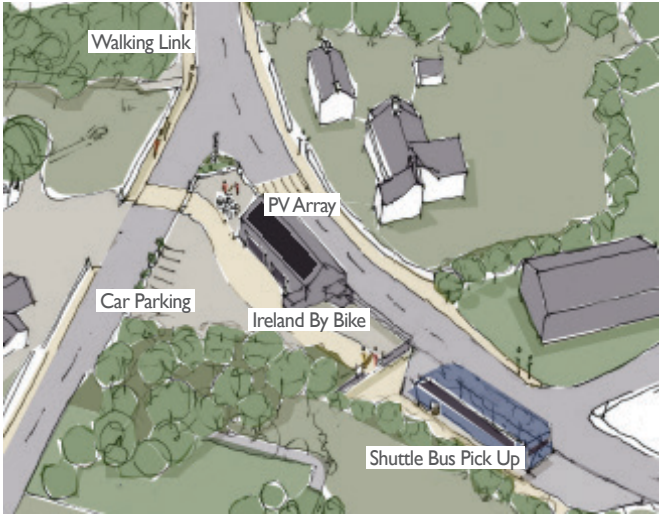
The 'Carrick / Teelin Slabh Liag Walking Festival' could become an important annual tourist offering for Co. Donegal. Ongoing upkeep, maintenance and improvement of these routes is vital to maintaining high-quality Tourism offering.

Walking Trails and QR Codes

A series of QR codes can be developed with wayfinding points. The systems are being promoted and installed by Sport Ireland who can advise in relation to how to achieve a network of Wi-Fi nodal points accessed via QR codes at various points of interest, heritage and local history, along the trails. This will also add the trails to the Sport Ireland marketing publications and walking trails throughout Ireland.

Sport Ireland walking trails criteria sets a guideline in relation to the grading, quality and safety throughout walking trails setting out criteria relation to Trail Route, Way Marking, Signage, Trail Furniture and Structures, Trail Surface and Vegetation.

The trails can be upgraded to improve the Walker/Visitors overall trail experience and particularly in light of the walking festival which markets Carrick as a centre for walkers along the wild Atlantic Way.



A vision of how the Teelin Road junction could be reimagined.

2.7 - Walking Trails

The trails can be upgraded to improve the Walker/Visitors overall trail experience and particularly in light of the walking festival which markets Carrick as a centre for walkers along the wild Atlantic Way.

The trails can be managed under the following Sport Ireland criteria:

Trail Experience

- Trail information
- Trail information board
- Interpretation signage and information signage
- Signage to the trail head
- Food and accommodation and other services

Trail Infrastructure

- Trail route
- Way marking
- Signage
- Trail furniture and structures
- Trail surface
- Treatment of vegetation

Trail Management

- Trail management organisation
- Trail management plan
- Keeping of records

Safety

- Tension safety issues
- Temporary potential safety issues on the route
- Potential safety of issues infrastructure
- Regular inspections
- Records

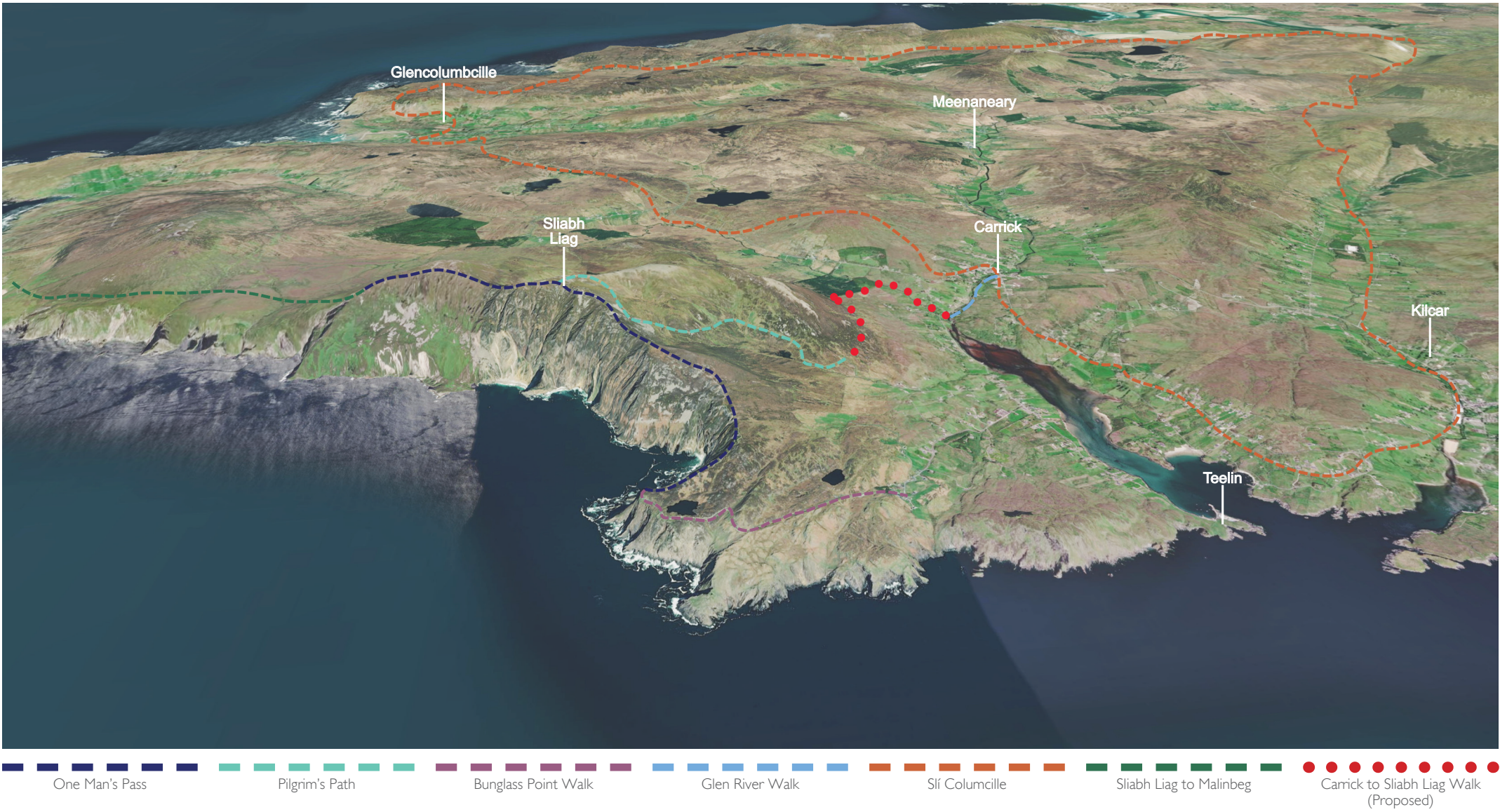
Environment

- Impact of designated sites
- Litter/waste
- Trail creep
- Public awareness

To become a tourist destination marketing itself as a walkers paradise it is important that the trail network meets national and international standards so as to ensure a satisfactory & memorable experience for tourists and walkers associated with Carrick / Teelin / Sliah Liag as a tourist destination.

Donegal Outdoor Recreational Strategy 2023 – 2029 establishes objectives, principles, vision, strategy and themes for the development and promotion of outdoor tourism and community activities.

Its is an objective and principle of this plan to ensure walking trails and outdoor activity areas are developed in line with the strategy and guidance set out in the Donegal outdoor recreational strategy.



Cnoc Unna walking trail concept ideas.





Boardwalk with steps where necessary to allow access / provide linkages to steep sections of trails without causing trail erosion or requiring drainage.



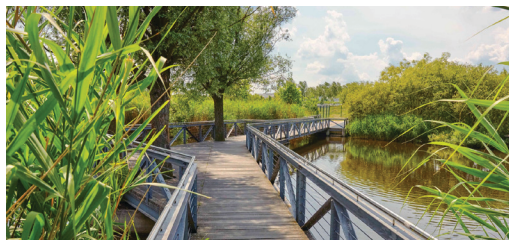
Rest stops which provided opportunities for break and allow take advantage of vistas and other spots of natural beauty.



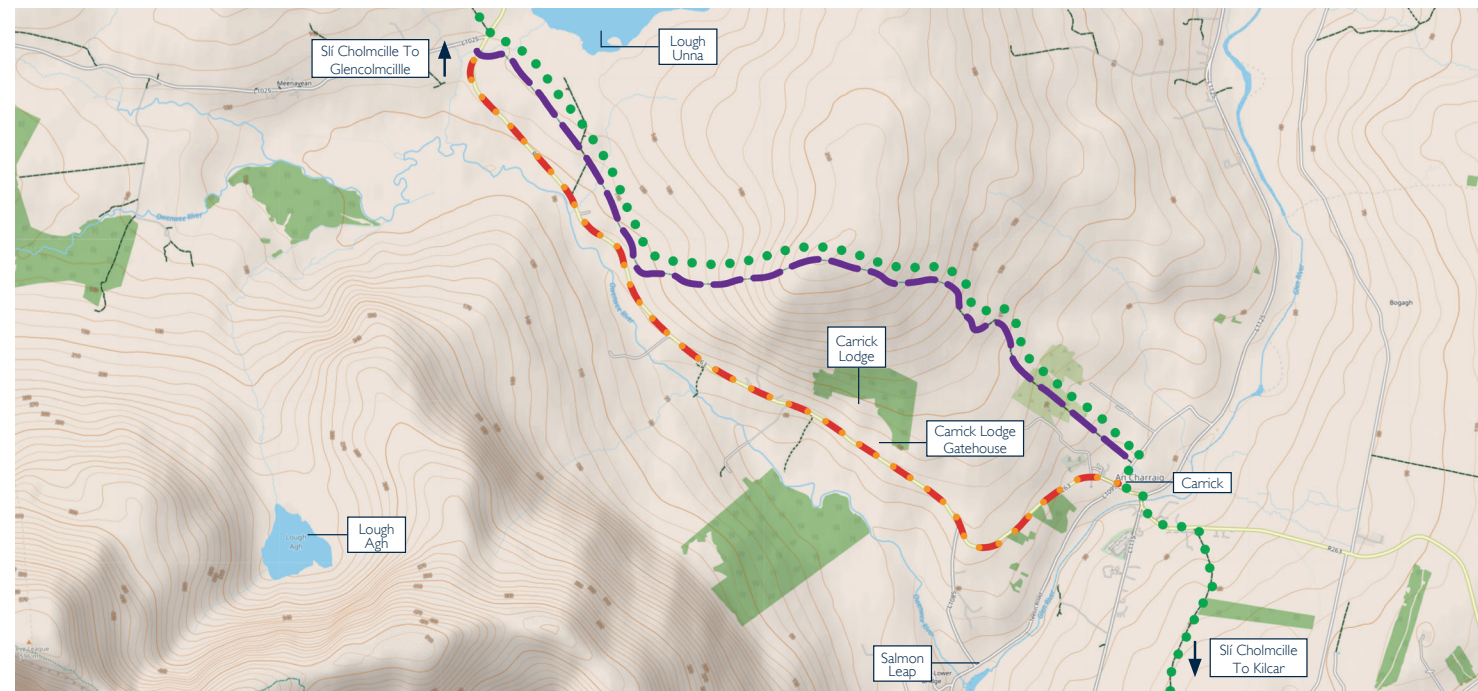
Contextually sensitive bridges link up trails and allow sustainable access across rivers and other sections of trail which would be difficult to traverse.



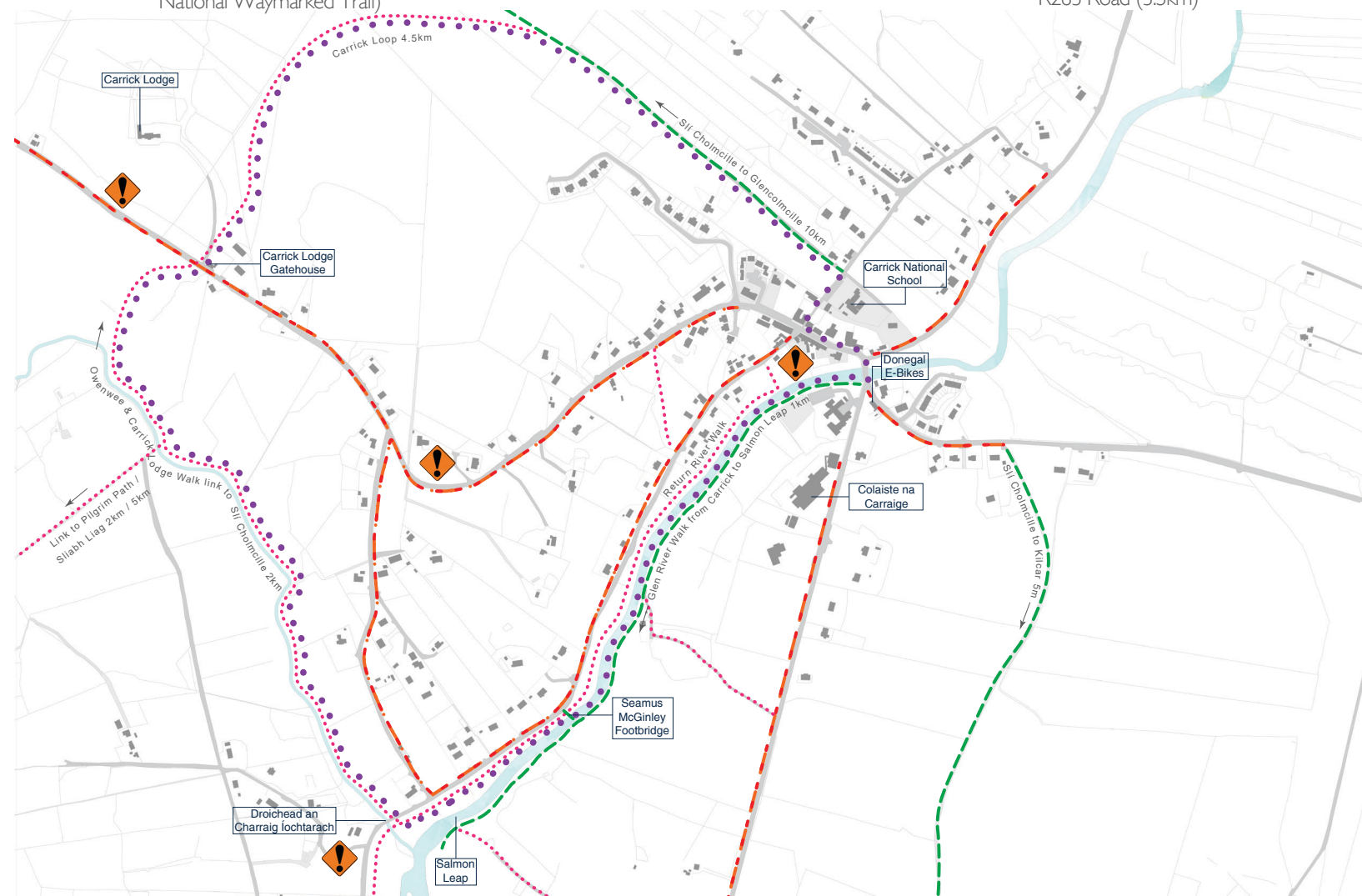
Wayfinding and information signage that provides drinking water placed at trail heads and key junctions within the walking trail network.



Riverside boardwalks reduce trail erosion and improve walker safety, particularly during or after periods of heavy rain.



Slí Cholmille (65km looped National Waymarked Trail) Existing Cnoc Unna walk (3.8km) Challenging return walk along R263 Road (3.5km)



Existing Walking Trails Roads in need of Footpaths / Cycle Paths Proposed Walking trails / Links Proposed Carrick Loop (4.5km)



Glen River Walk



Cnoc Unna



Salmon Leap



Carrick Lodge Gatehouse



Droichead an Charraig Íochtarach

3.0 - Building/Construction Projects





1. Old School Community Hub

- Extend and provide energy retrofit of Old school to include Heritage Gallery improved meeting rooms, kitchen, WC's , showers and some tourist information facilities.
- Provide venue for youth activities.
- Provide Heritage and Culture information installation on permanent exhibition within the Old School Gallery.
- Possible development of Community Playschool.
- Provide a possible additional extension to locate Handball and Squash facilities.
- Rearrange car park layout by narrowing centre space between cars (to standard required) and provide tree lined pedestrian access from the Main Street to the building. Parking shortfall will be provided for in the Carrick yards development and other backland locations.

2. An Chearnóg

- Lease the green space in front of the 2 No. Traditional cottages adjacent to the Old School from the Landowners.
- Provide a sculptural/landmark shelter for young people to socialise with adequate levels of passive oversight.
- Create a feature seat that is accessible to all that will give a civic identity to the square.
- Provide a basketball hoop with hard surfacing or similar informal sports/ social facility.
- Consider the acquisition and inclusion of the vacant Traditional Cottages as a Heritage Experience, and traditional building skills workshop.

3. Community Playschool

- Provide a playschool/afterschool childcare facility for young children close to the National School.

4. Cultural Biodiversity & Eco Tourism Adventure Area

- Support the provision of facilities for a national school of Bee Keeping & Biodiversity.
- Support the provision of an indoor and outdoor nature based adventure centre for children.

5. Artist Collective / Studio Space

- Adaptive reuse where possible of buildings at the site of the 'Red House' to create facilities for local artists to sell their crafts, and musicians to rehearse.
- Provision of studio spaces for artists to practice as well as provide classes for local people and visitors.
- Where existing structures are derelict beyond saving, only then new buildings should be built.

6. Carrick Yards

- Support an artisan food production and dining facility in the heart of Carrick, promoting the culture of food from the local area as well as encouraging local business development in the sector.
- Where possible, retrofit existing buildings from the site surrounding and including 'Michael Gallagher House' as Tourist accommodation.
- Support the provision of a remote working hub at Carrick yards.
- Provision of car parking facilities to increase overall capacity of the village, as well as creating additional pedestrian access from the Main Street to the Teelin Road.

7. Repurposed /Refurbished Town Houses on Main Street

- Where dereliction is present on Main Street, affordable and social housing could be provided to increase the housing capacity within the settlement framework.
- Derelict/Vacant buildings could be repurposed as much needed restaurant and café businesses, with accommodation on the upper floors.

**Addressing dereliction and vacancy in the village core emerged as a top priority for regeneration as identified in the Stage 1 Health Check process.*

8. Extension of River Boardwalk and new Bridge

- Lengthen the highly successful river walk and provide an additional pedestrian bridge which will link to the (One way) Teelin Road.

9. Water Sports Adventure Park Teelin

- While not an immediate priority, the harbour at Teelin Pier remains a most attractive amenity for the area and it could indeed be the location for a safe and fun water park giving additional visitor attractions for families.

10. Meenaneary Amenity Area

- Creation of a small landscaped area on the flat green space (adjacent to proposed private parking area) on the East side on the Meenaneary Road just beyond the village, at this very scenic entrance to the village from the Meenaneary Road.



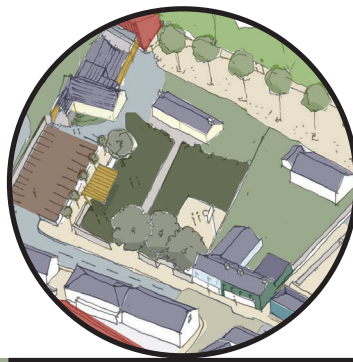
Sustainable Development Goals:

Each of the projects within the regeneration plan (including Infrastructural) have at their core, the considerations of the United Nations Sustainable Development Goals in addition to all of the other policies included here. There is also particular consideration on reduced embodied carbon for materials in all of the projects over those which have a very high carbon footprint and on services that rely on fossil fuels.

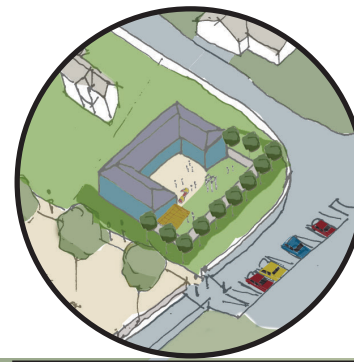
CONCEPTUAL IDEAS ONLY



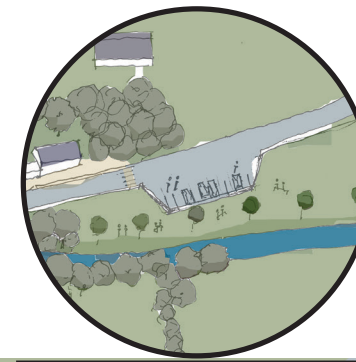
Old School



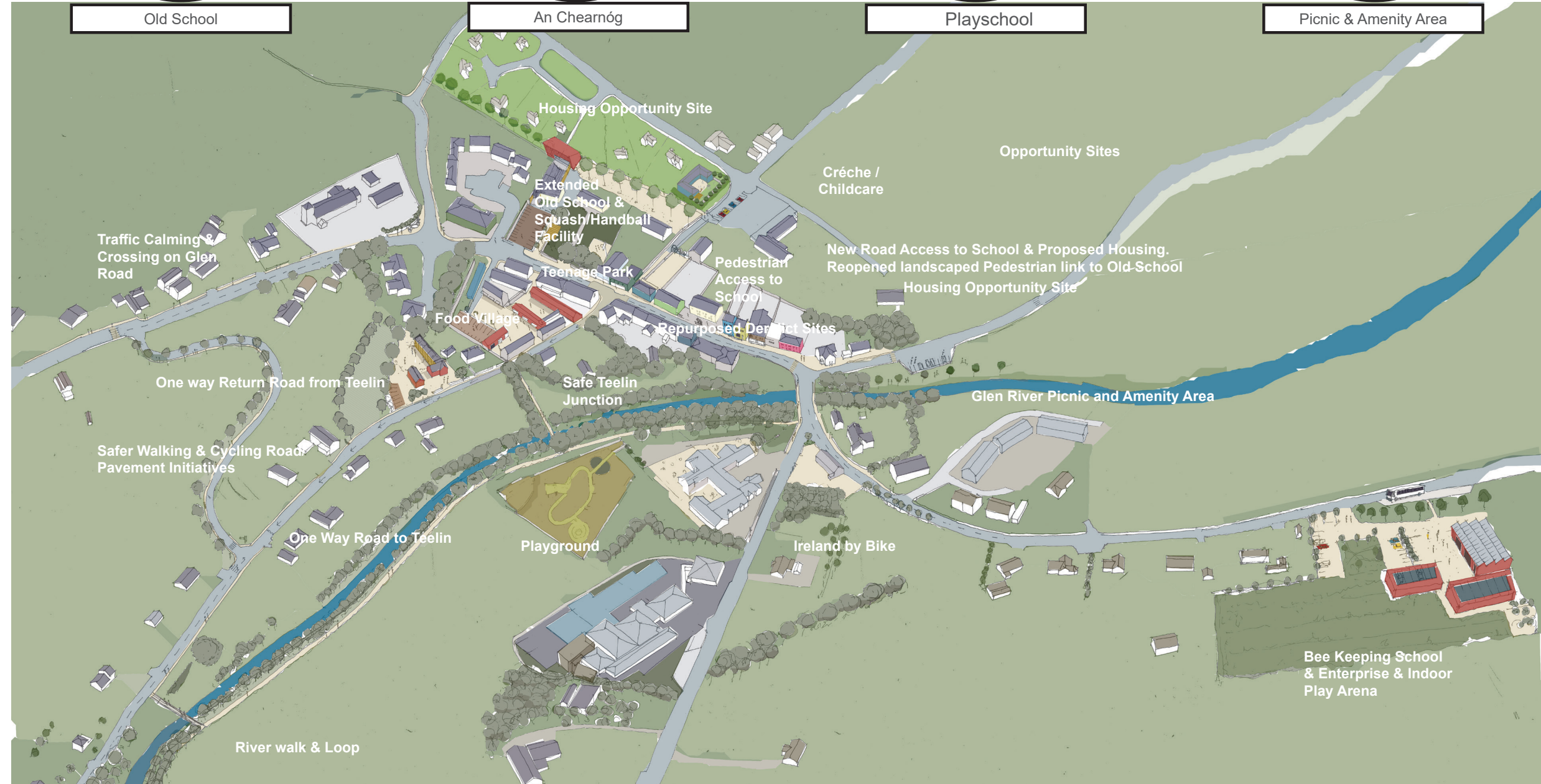
An Chearnóg



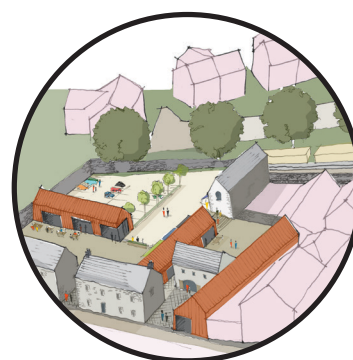
Playschool



Picnic & Amenity Area



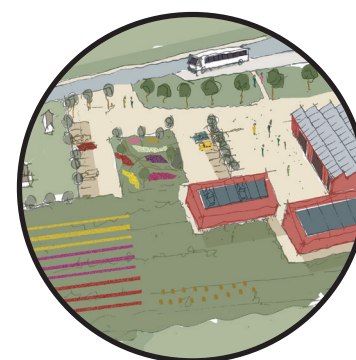
Artist Studios



Carrick Yards



Town Houses on Main Street



Biodiversity & Indoor Play

3.1 - Old School & Car Park

The current old school building serves as a community centre and is located at a critical position in the centre of the town to the north of the Main Street. The slightly reduced capacity car park to the front, and the building itself can also be pivotal to future sustainable compact development of the village.

With a dramatic PV powered extension the Old School can expand to serve a multitude of purposes. It can be a warm bright and welcoming centre for all members of the community. The improved bathroom facilities will be of benefit to all including visitors to Carrick.

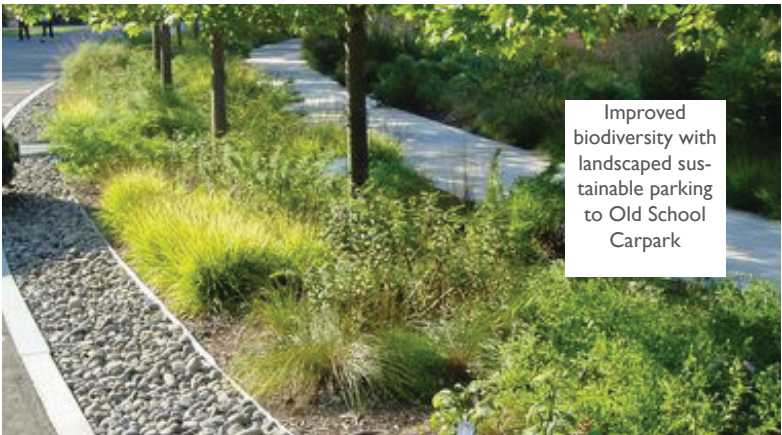
The new Gallery or refurbished Hall (with additional roof lighting to the rear) could provide a venue for Heritage and cultural presentations and permanent exhibitions.

Tourist information stands could be located within the centre or externally, accessed from the carpark.

EV charging should be provided in 2No. spaces at the Old School carpark. The car park could be reduced in width to provide a pathway to the community centre, that also links to the National School via a temporarily closed path.

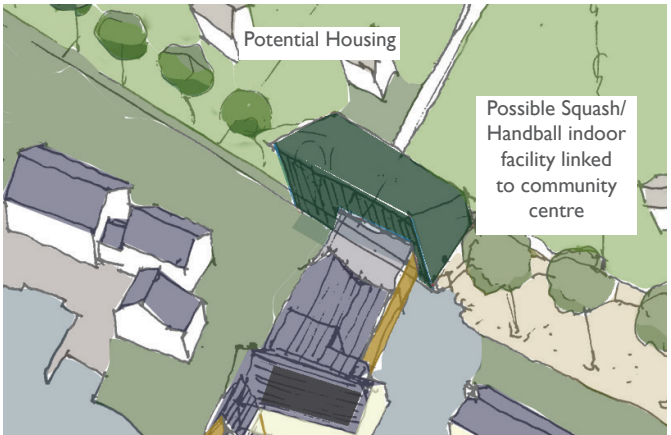
This location can be a drop-off point for parents bringing their children to and from school and will provide safe car parking and a dedicated pedestrian route via the short travel distance to the school.

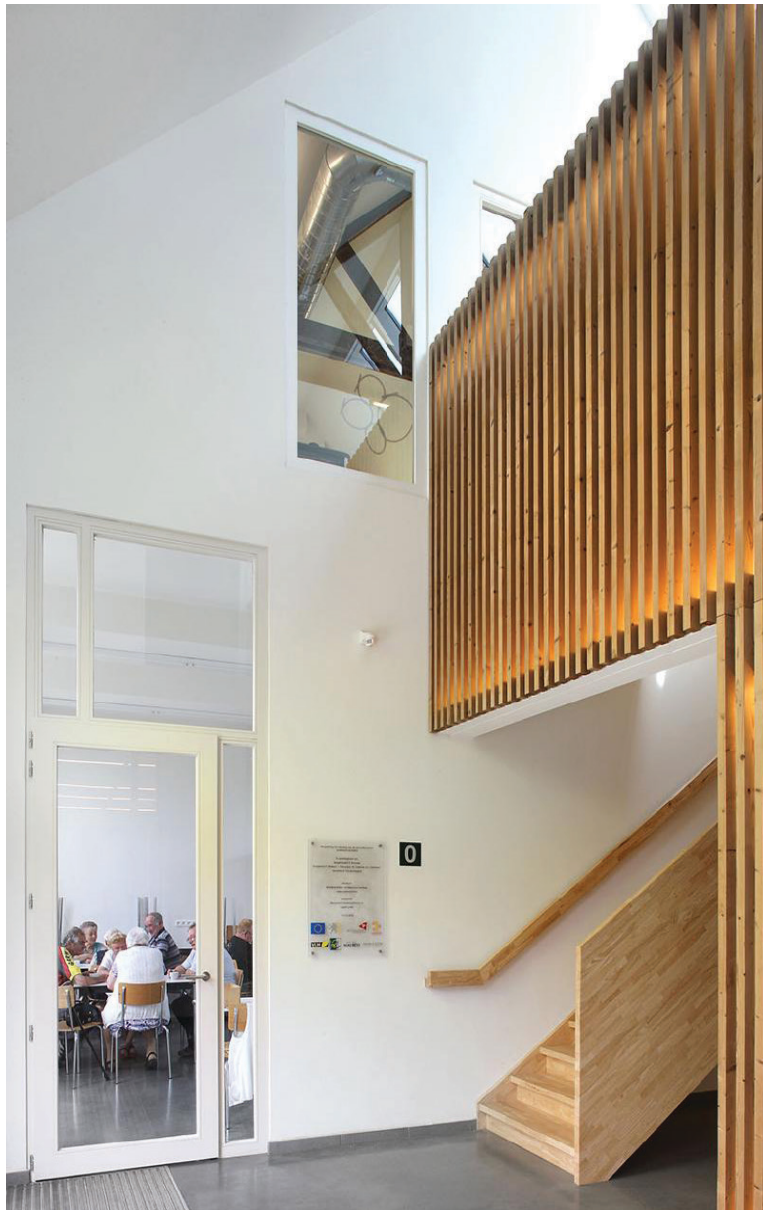
The Market stalls (Fruit/Veg and Agricultural supplies) every Thursday could be relocated to the adjacent Carrick Yards development as indicated on the artist's impression. This use chimes well with other proposed offerings with the development and parking is to be provided there also.



Additionally there is undeveloped land to the rear of the Old School which could be used for the construction of a small sports facility for squash or Handball who can then avail of the redevelopment of the Community Centre for a wider range of social, community and health & well-being activities.

With possible future housing development to the rear (North) of the Old School would remain the heart of the community being accessible by foot from all directions.





ATELIER TOM VANHEE
COMMUNITY CENTRE WOESTEN
Renovating a former school as community centre



A Rural Bungalow in South-West Donegal by Donaghy and Diamond Architects
Key Features: Sheltered Seating at Entrance & Timber Materiality



Legend:
1. Existing Hall/Old School with large PV array
2. Kitchen WC's & Entrance lobby
3. Meeting Room/Exhibition space on 2 levels
4. Bathrooms, Changing Rooms, Showers
5. Deep roof overhang/shelter
6. Community Playschool



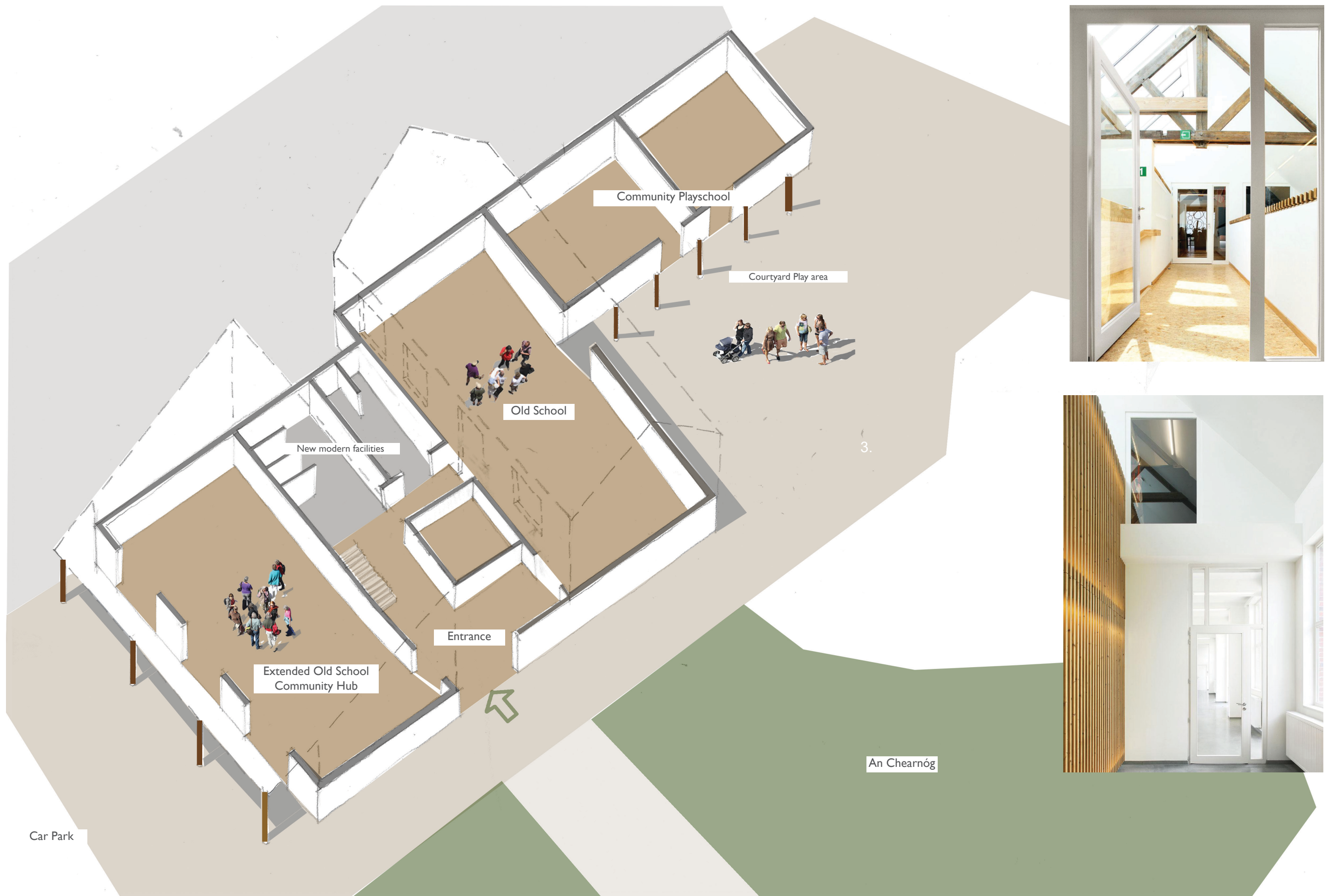
An Old School In Ireland in the Early 20th Century
Key Features: Exposed Timber Rafters, Reflecting on Traditions & Heritage



'Changing Places Ireland' Facilities for Equal Accessibility in Rural Ireland & in Tourism
Key Features: Bathrooms, Changing Rooms, Showers



Materiality in the Abandoned Lettermore National School, Co. Donegal
Key Features: Traditional Materials, Heritage



3.2 - An Chearnóg- Civic and Cultural Space

The area to the front of the existing 2 vacant cottages forms and unofficial playground, teenagers/children regularly play informal football and other ballgames and generally hang out in this area.

The location is overlooked from all sides and provides a safe and easily monitored play area for all.

Community development of a civic space- An Chearnóg, including a covered shelter in this central space would be a much used addition to the village.
The proposed sunken seating area could be formed in local stone and have tales of traditional folklore cut into each ring.

The Chearnóg could also provide a simple paved area for all-weather facilities such as a basketball hoop, and a childrens ball playing space.

Community ownership

An Chearnóg will be for all the community.
Community 'ownership' of this spaces should be encouraged so as to ensure the upkeep safety and appropriate use of the spaces and facilities.

Civic Spaces

The development of this civic space will allow formal and informal meeting and socialising, it is open to the public, in the ownership of community, well illuminated and safe.

Tourism Stop-Off Point

The Chearnóg is easily accessible to passing tourists and provides a clear identity as a civic and public space for stopping and meeting up.

Improved Public Realm

In the civic space- an Chearnóg and throughout the Main street use of a defined a palette of materials which are identifiable as local to the area will provide a spatial and visual identifiable link to the village.

Place Making and Identity

The unique public realm landmarks, for example the stone sunken seating ring and the corten portals to the shelter, incorporates symbols and art pieces that will have a clear association with the village, through materiality and the narrative text incorporated .

Development of simple and graphic identity symbols can help promote tourism and encourages visitors to stop and look around.



Sunken Stone seating can be a location for informal Music recital, stone rings can incorporate carved description of Music Heritage in Carrick



Wellington CBD New Zealand

Linked to the Old School Community Hub, an Chearnóg, can help tell the story of Carrick, its Heritage and culture. The 6 gateposts in corten steel can be host to text that gives various stories related to Carrick and reference to notable Historical figures such as Mary Cunningham.
Reference to the value rushes were held in previously (as indicated in Brehon law to be named 'bushes') and how we make St.Brigids crosses from them, an activity that is still celebrated on 1st February in Carrick. The many attributes that brought visitors to Carrick in the 19thC, such as fishing, rock climbing, and simply enjoying the benefits of clean healthy living can also be celebrated through representation on the Corten gates/arches.



1 hoop and a small play area can provide much informal basketball fun.



CONCEPTUAL IDEAS ONLY

Heritage and Culture to celebrate

Fishing

An Charraig has always had a strong connection to fishing. Geographically, An Charraig has no shortage of prime fishing spots in the surrounding area with an abundance of lake, river and sea fishing in the surrounding area.

The Glen River has always been synonymous with salmon fishing particularly at the point of confluence with Owenee River, known locally as the Salmon Leap.

Salmon fishing was once a popular community tradition at Teelin Pier. At a point just beyond the pier known as Dol Phadaí Jimmy Ruairí was particularly popular with this tradition. It

involved someone standing at a high view point overlooking the water and signaling to awaiting fishing boats when the salmon would appear. The first boat in the line would then cast its net in a circular fashion.

This practice ended in 2010 with the banning of in-shore draft net fishing due to depleting salmon stocks.

Before Killybegs, Teelin was the principal fishing port in the county. The change was largely due to the railway connection in Killybegs. There were once plans to continue the line to An Charraig, but this never materialised.



Photo from the Lawrence collection (C.1900) showing a group of men attempting to land a salmon with An Charraig bridge in the background



Photo from the Lawrence collection (C.1900) showing fishing nets being dried on the hills behind Teelin Pier

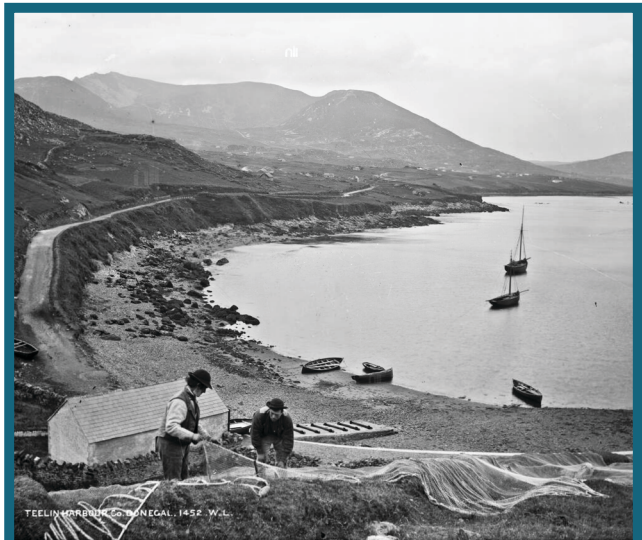


Photo from the Lawrence collection (C.1900) showing two men mending fishing nets at Teelin Pier

Traditional Music



A tin fiddle made by Mickey (The Miner) Byrne in the Glencolmcille area. This fiddle is shown on the cover of 'The Fiddle Music of Donegal Volume 3'.



Con McGill
Melodeon Player
(1912 - 1983)



Danny Ward
Melodeon Player
(1907- 1995)



Phonsie Ward
Fiddle Player
(1914- 1993)



Columba Ward
Fiddle Player
(1917- 1999)



John Ward
Fiddle Player
(1911 - 1991)



John Doherty
Fiddle Player
(1894- 1976)



James McBrearty
Fiddle Player
(1893- 1967)



Con Dorian (Right)
Fiddle Player
(1926- 1991)



Paddy Byrne (Left)
Fiddle player
(1919- 2003)

The parish of Glencolumcille has a rich and unique heritage of traditional music, particularly fiddle playing. Fiddle playing is thought to have come to Donegal around the mid 1700's. At this time there were a number of fiddle makers in Dublin but they were far away and often very expensive. As a result, many would-be fiddle players took to making their own instruments in order to play music. Box fiddles were commonly made due to their simplicity as well as some 'violin style' fiddles to various levels of success.

Another common method was to make fiddles out of tin. There were a number of traveling musician families such as the McConnell's and the Doherty's who were also excellent tin smiths. Their high

levels of skill in both trades allowed the to make high quality instruments at affordable prices. Many highly renowned fiddle players from south west Donegal first learned to play on tin fiddles before progressing onto wooden ones.

There is still a strong tradition of fiddle playing and other traditional music in An Charraig, as well as the surrounding villages of Kilcar, Glencolmcille and Meenaneary with music sessions played in many of the pubs on a regular basis.

Weaving

Spinning, weaving, knitting and sprigging have always been part of An Charraig's (and the surrounding area's) tradition and heritage.

At the beginning of the 20th century, An Charraig and Glencolumcille lace won a number of international awards, including at the prestigious Royal Dublin Society Show.

The RTÉ television series 'Hands' features the Carr family of Kilcar in 1978. It shows the entire process of spinning from the shearing of sheep, the spinning of the wool

and the dying process by using plants collected from the surrounding area.

In April 2022, the Donegal ETB launched the first certified weaving course in the country in Kilcar. With the average age of Donegal weavers being 75 years of age, this course will be essential to preserving the skill, tradition and heritage of weaving both in Donegal, as well as the entire country.



The class and tutors of the first certified and accredited weaving course in Ireland, located in Kilcar



Still from Hands (1978) showing spinning wool



Still from Hands (1978) showing cleaning wool



Example of Informative and highly engaging Culture & Heritage presentation Boards,
Courtesy of the Heritage Centre Ardara



Sample mock-up of Culture & Heritage information boards for Carrick
Old School Gallery
Similar boards would require carefully curated & graphic design



Example of Informative and highly engaging Culture & Heritage presentation Boards,
Courtesy of the Heritage Centre Ardara

Making culture & heritage accessible for all

3.3 - CarrickYards

The detached building on the Teelin Road which is locally known as 'Gallaghers Green House' was originally the RIC station in the village.

The Green House opens directly onto the Teelin Road and in the current two-way traffic arrangement, it might be difficult to retain this building in any possible redevelopment.

However, if the Teelin Road project proceeds and facilitates a one-way system along this stretch of road then the existing Green House building could be retained and could form an element of a 'CarrickYards' restaurant, artisan food development, accommodation, craft market and digital hub development.

The absence of food offerings in the village to entice tourists to stop and dine and stay in the village was identified in the Stage 1 Health Check as an obstacle to optimising the business value of the large number of tourists passing through the village.

This Green House is unfortunately falling into a level of disrepair and dereliction, a prioritised schedule of repair would be useful aid to ensuring the continued protection of this building which might otherwise be lost to the village.

The Carrick Yard proposal visualises the possibility of providing a sustainable sensitive back land development, retaining any worthwhile existing structures and forming a series of courtyards which could accommodate restaurants and form the heart of a food trail, including food markets, and to enable local artists and producers to display and sell their products.

The buildings along the Teelin Road Boundary could provide accommodation in Hostel/ Boutique Hotel format. Similar food centres and offerings have proven to be very successful tourist attractions along the Wild Atlantic Way. This opportunity to provide a compact town centre development with easily accessed back land car parking, could prove a similar success, thereby providing sustainable local employment and a centre for sale of Artisan foods being produced in the general locality.

This could provide an attractive tourist offering and entrepreneurial local social amenity, while providing sustainable full-time employment in the village.

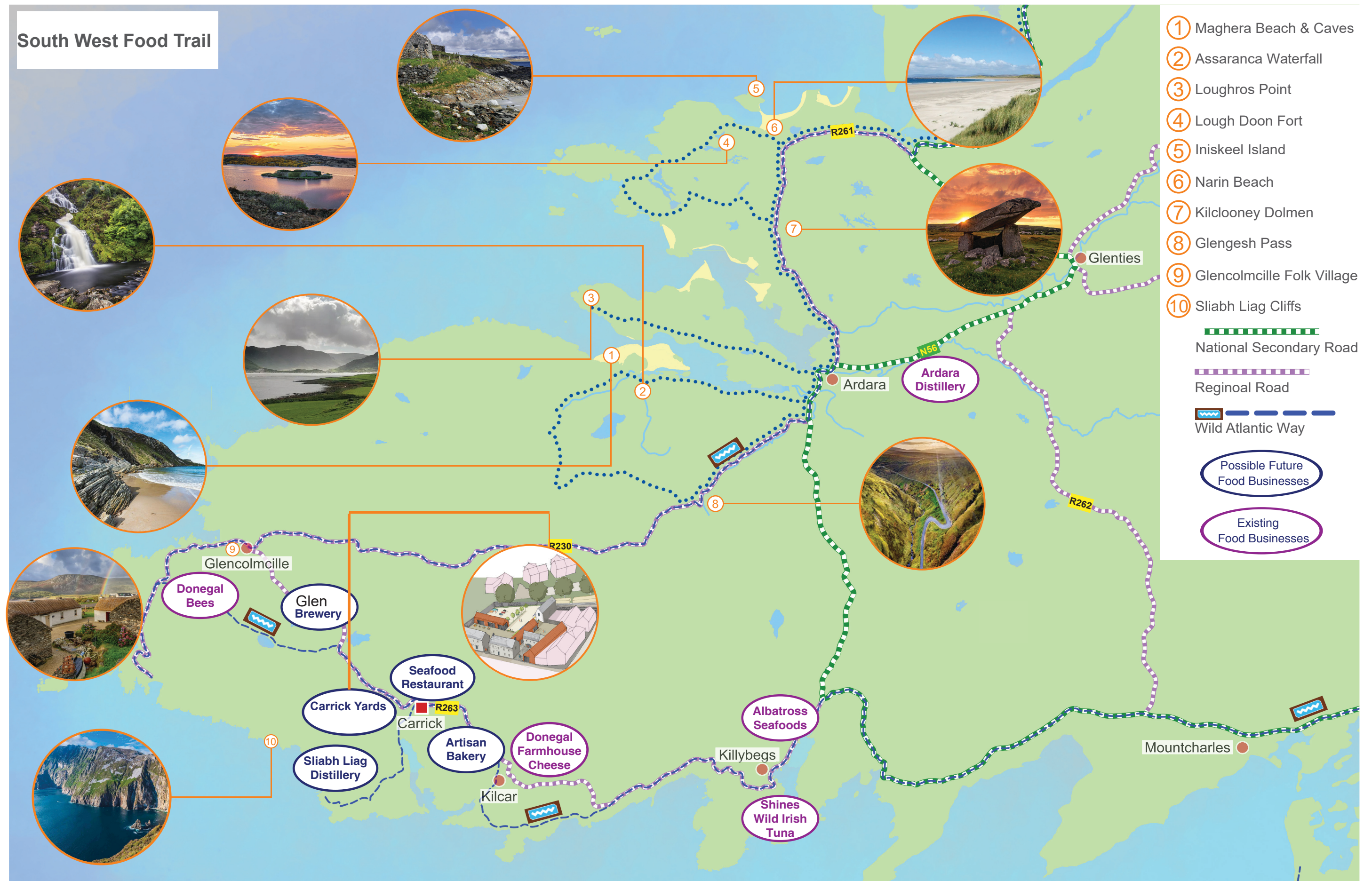
A mixed use development that could prosper on this central and key site can provide for a number of uses that were highlighted as being desirable for the future of Carrick.

The creation of a permeable square off the Teelin Road and Main street make this site pivotal in the overall regeneration strategy



This Regeneration Strategy and Action Plan is intended to be aspirational and flexible to change or interventions over the course of its lifetime. In no way or form are the actions and associated content contained therein agreed or committed proposals, plans or designs. Conceptual sketches are an 'artist impression' of potential ideas of how particular spaces could look, alternatives may also be appropriate.

South West Food Trail



3.4 Playschool & afterschool Facility

At present there is no purpose built childcare facility in Carrick Village. The high demand for such a facility and the availability of land adjacent to the National School could make this a prime location for such a service as it would be easy and convenient for parents dropping children off at both school and playschool- in the mornings. It would also mean that children who finish school early could avail of nearby afterschool care if their par- ents are working.

- 1. Painted Bright & Fun Colours
- 2. South facing PV panels on the roof
- 3. Outdoor courtyard and play are to the front
- 4. A Sheltered Outdoor Play Space
- 5. Playground Equipment
- 6. Boundary screening with vegetation
- 7. Existing National School



Examples of Children's Furniture, Bright Paint & Soft Surfaces.



Examples of outdoor play areas in childcare facilities with soft colourful surfaces, sustainable play equipment and landscaping



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3.5- Artists & Heritage Collective at Red House

A detached building on the Teelin Road which is locally known as the Red House is unique in its design and materiality and creates a striking impression when passing.

This Red House is unfortunately falling into a level of disrepair and dereliction, whereby if this is not addressed immediately the house could collapse and be lost to the community. This house in its location size and siting offers many opportunities for saving, refurbishment and redevelopment of the building. One such opportunity being the creation of a crafts and artists workshop to provide a facility for local artists and heritage/contemporary craftspeople or musicians to work, display and sell their products in a dedicated centre.

A similar centre exists in Donegal Town known as the Craft Village and while it is located at a distance from the town centre, it has become a must-see tourist offering for all tourists visiting Donegal Town.

This centre could provide a centralised artist community wherein ideas and struggles are shared, and local artists & crafts people feel a sense of belonging and shared experience in their community. The collective could offer sustainable employment and reduce emigration of important local talent.

The location of the centre and proximity to possible future back land parking and Carrick Yards will create symbiotic relationship which could give a centre of employment, and a rich and varied tourist offering, to the benefit of the local community.



Cow House Studios in Co. Wexford is a contemporary visual artist studio that operates out of a converted cow shed. They offer classes and residencies to young aspiring artists.



The Buttermarket Craft & Design Courtyard in Enniskillen is home to 18 Artists practice and is housed in a restored 19th Century Butter Market



The Donegal Craft Village is was founded in 1985 as an artists collective and has 6 studios, each working with different mediums.

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3.6 Two dwellings on Lower Main Street

"Everyone in the state should have access to a home to purchase or rent at an affordable price built to a high standard and in the right place offering a high quality of life"

-Extract from Housing for All policy.

Promote the redevelopment of derelict buildings along main street to provide a lively and welcoming town centre location which is vibrant and viable. Town centre viability closely linked with the presentation of the town centre through the built environment, civic spaces and public realm.

Retrofit First

Promote the retrofit first principle in relation to the re-use and redevelopment of existing houses and derelict properties.

Retrofitting existing buildings in Carrick promotes sustainable compact growth resulting in far lower embodied carbon.

Vacant Homes Grant

Promote applications to the vacant homes grant to provide for top up funding for the retrofit and reuse of existing building stock.

Derelict Homes Grant

Promote applications to the derelict homes grant to provide for top up funding for the retrofit and reuse of existing derelict building stock.

SEAI Energy Upgrade Grants

Promote applications to undertake up of a SEAI energy upgrade grants the reduce fuel poverty and guide the village towards the cop 21 principles of reducing fossil fuel use.



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3.7 - Cultural and Biodiversity,
with Ecotourism Nature Activity Centre

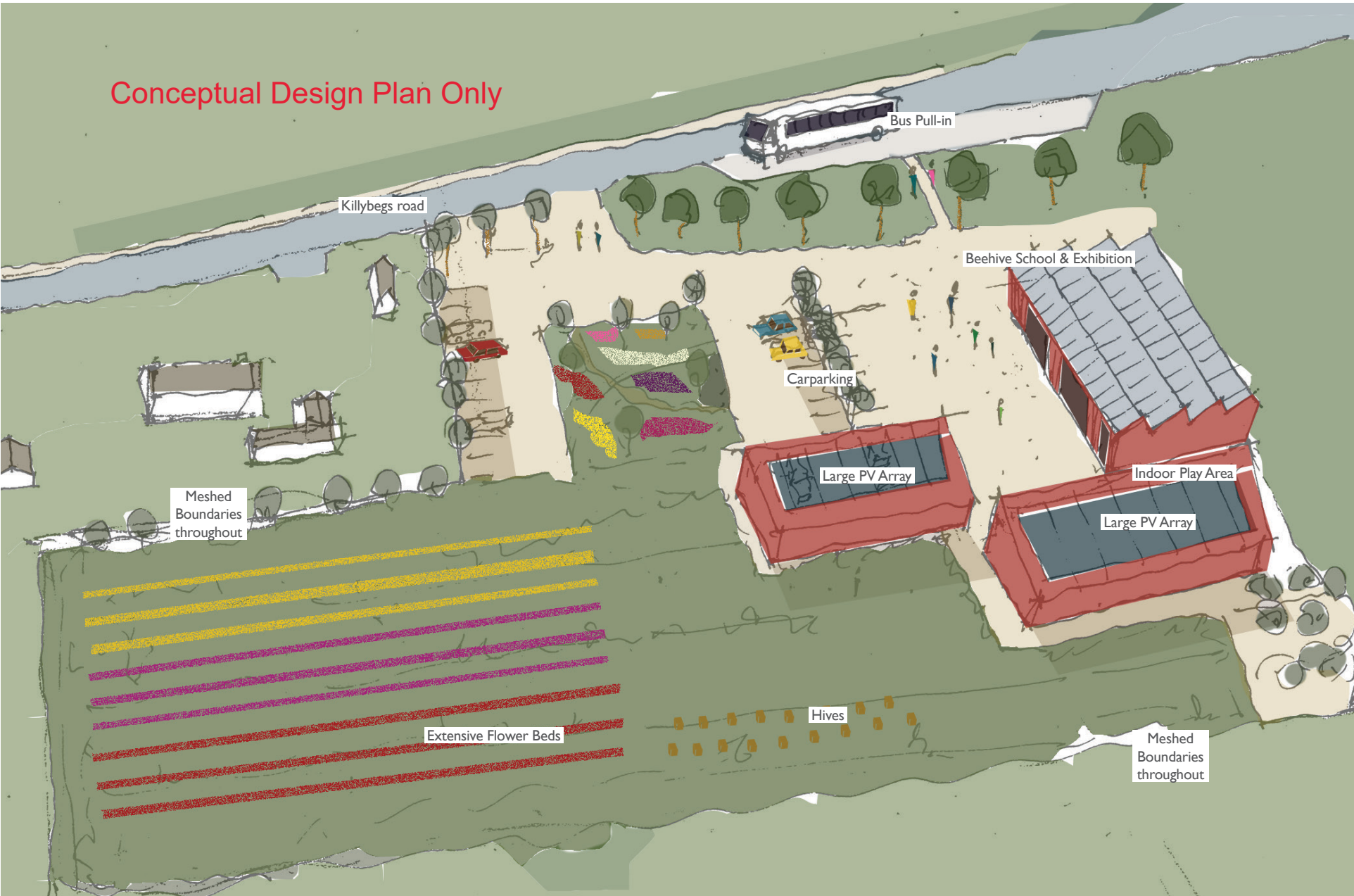
Due to the increase in popularity of bee keeping in Ireland, a purpose-built centre is being considered by a private developer. An ideal site for this could be the open green space on the approach to Carrick from the Donegal / Killybegs Road (R263).

Such a centre could contain facilities such as classrooms and exhibition spaces which could cater to both aspiring and experienced bee keepers, as well providing a top class experience for curious visitors to the area. It could also have extensive external facilities to aid and promote the educational experience such as areas for a variety of hives of different bee species, as well as carefully curated flower gardens specifically chosen due to their benefit to pollinators.

This location could separately offer indoor and outdoor play areas for children giving more options for families visiting the area during spells of poor weather.

Adequate bus pull in bays and car parking would be essential in order to prevent the build up of traffic on the R263 road and could also reduce congestion and increase parking capacity for Carrick.

The provision of PV panels and other sustainability measures would be strongly encouraged to mitigate the carbon footprint of such a centre.



3.8- Housing Opportunity Sites

Lack of available housing has been identified as a priority in the Stage I Heath Check Process.

The Donegal County Development Plan identifies the development boundaries of the village and requires a town centre out-ward approach to multiple housing development.

A number of possible project locations have been identified in the plan which would provide for town centre housing developments, which will reinforce the compact town centre area while also providing vital urban infrastructure including road and foot-path networks which will alleviate access & connectivity problems within the existing town centre core.

The development of multiple housing units to the north of the Main Street could enable the development of a road network from the road opposite the National School and linking onto the Ard Na Carraige Road.

This could enable safer one way traffic for the existing Lane from the Main Street to the National School which is extremely narrow and substandard as a vehicle route, and would enable the development of housing within five minutes walking distance of the town centre, the town social infrastructure and the national school.

Compact town centre housing development reduces the requirement for long unsustainable servicing lines and ensures that footpaths, public lighting and adequate vehicular carriage widths are available to ensure the safety of all road users and can benefit the overall infrastructure of the village.

Promote development of lands for housing and infrastructure in the sequential method stemming from the town centre out-wards.

Promote the development of lands for housing and residential facilities within close walking proximity to the existing schools and civic services in the town centre.

Promote the development of lands for housing which through that development can improve the road and footpath infrastructure to improve connectivity within the town and facilitate Compact Growth.



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3.9- Blue Ways and Water Trails

Rowing Club, Canoeing & Diving Centre.

Explore the feasibility of developing a water sports centre for community and tourism use at Teelin.

Open discussions with providers of such facilities and Fáilte Ireland to establish the feasibility of such a venture and possible funding sources for same.

This multiuse facility could facilitate local clubs such as the rowing canoeing and diving clubs and could operate as a commercial centre for water sports exploiting the natural amenity available.

Promote the provision of:

- A. Improved access to slipways and moorings,
- B. Improved access to changing and shelter facilities
- C. Access to storage and maintenance facilities
- D. Access for bus parking and covered safe lock-up facility

Promote school, community and tourism water based commercial and community activities in this natural harbour.



8.0 Delivering the programme

Delivering the programme of suggested projects for Carrick will require a focused, robust and collaborative approach from all stakeholders, including Donegal County Council, Building on the vision & collaborative approach of all the community, All community groups associated with Carrick and environs, including Coiste Forbátha, and private Business.

Undertaking key projects such as the Old School, An Chearnóg and Carrick Yards, will commence a period of regeneration that will drive the community forward and allow a series of adjacent improvements to occur. The knock-on effect of an enhanced public realm and landmark building will enliven the whole community and lift this important village. The confidence and buy-in from stakeholders will accrue over many years, however keeping the drive 'alive' will be critical during the difficult construction phases . Funding sources may be wide and varied, but again will require a Team of professional co-ordinators who will access same, and ensure they are targeted at the most impactful projects first.

Getting Started:

Meeting the Community & Stakeholders

The first step now is to present the collaborative masterplan to the community & stakeholders. Create an event that celebrates the plan and allows the community to engage with it in a positive and creative spirit, include all ages and ensure that the plan is clear and accessible for everyone.

Establish a Project Team

Establish a project Team that will drive the regeneration strategies, this could include representation from the whole community, business groups, and the local authority. A project administrator team could be created by the community to drive the various projects and co-ordinate funding access requirements. The project administrator team could assess the current & future business needs and potential for particular buildings or projects to deliver on those needs.

Begin large (and small)

The Teelin/Glen road link and Teelin Junction could be the primary large scale projects, however creating a design guide to help preserve and re-instate the architectural character of Carrick is a low cost initial step and could be launched at a public forum to engage the community and building owners.

Repurposing derelict buildings on the Main Street with exemplar architecture will provide a positive example and will foster pride of place in Carrick.

Engage with Landowners

Many of the suggested projects include lands that are in private ownership. The project Team and Local Authority, could explore possibilities with land owners and look at strategies that will deliver for all and for the improvement of Carrick as a destination to visit and a community to work and live in.

Marketing

As soon as is appropriate, the project administrator team could engage/undertake a marketing campaign to ensure that Carrick benefits in terms of growth and attractiveness to a wider population.

Evaluate

Private and Business community buy-in will be required to ensure the commercial viability of interventions. Monitoring of the true value/benefits of individual projects could be undertaken, with feedback delivered to all stakeholders. Regular reporting of progress and feedback at 6 monthly intervals could be undertaken to maintain focus and confidence in the plan.